

PLANNING AND ZONING COMMISSION MEETING

DOUGLAS CITY HALL, DOUGLAS, WYOMING

JULY 17, 2023

REGULAR MEETING – 5:30 P.M.

PLANNING AND ZONING COMMISSION MEETINGS ARE RECORDED AND BROADCAST LIVE ON CABLE CHANNEL 61.

THE PLANNING AND ZONING COMMISSION IS AN ADVISORY BODY TO THE CITY COUNCIL. ITEMS APPEARING ON THIS AGENDA WILL BE CONSIDERED BY THE CITY COUNCIL ON JULY 24, 2023. ALL APPLICANTS ARE STRONGLY ENCOURAGED TO ATTEND BOTH MEETINGS.

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. APPROVAL OF THE AGENDA FOR JULY 17, 2023

V. APPROVAL OF THE MINUTES FOR JUNE 19, 2023

VI. PLANNING AND ZONING MATTERS

- A.** CUP 04-23: Application by Marissa Beard to operate a Preschool in an R-1 Neighborhood Residential Zone at 302 S. 5th Street, Original Town of Douglas, Block 26, Lots 1 & 2.
- B.** CUP 05-23: Application by Douglas Christian Academy for a Conditional Use Permit to operate a private school an R-1 Neighborhood Residential Zone at 1424 Griffith Way, Part of Boardman-Rourke Addition.

VII. TABLED ITEMS

- A.** DEV 01-23: Application by Maverik Inc for a Type B Development for improvement to an existing convenience store in a B-1 Local Business Zone at 1108 West Yellowstone Highway, Riverbend Addition, Lot 9, Block 2.

VIII. CODE CONSIDERATIONS

- A.** Building Permits
- B.** Civic & Public Zone

ADJOURNMENT



Douglas Planning and Zoning Commission

June 19, 2023

City of Douglas – Council Chambers

101 North 4th Street

Douglas, Wyoming 82633

Call to Order

Chairman Hancock called the Douglas Planning and Zoning Commission to order at 5:32 p.m. In response to the Chairman's request for roll call, the following were found present:

Members Present: Jay Hancock
Becky Renstrom
Robin Velasquez
Scott Bauman
Dave Patterson

Members Absent: none

City Staff Present: Clara Chaffin, Community Development Director
Heidi McCullough, Planning Technician

Agenda

Chairman Hancock introduced the agenda. Commissioner Velasquez moved to accept the agenda. Commissioner Renstrom seconded the motion, and the motion was carried unanimously.

Minutes

Chairman Hancock introduced the minutes of the May 15, 2023, meeting. Commissioner Renstrom made a motion to accept the minutes. Commissioner Velasquez seconded. The motion carried unanimously.

Planning & Zoning Matters

- A. DEV 01-23: Application by Maverik Inc for a Type B Development for improvement to an existing convenience store in a B-1 Local Business Zone at 1108 West Yellowstone Highway, Riverbend Addition, Lot 9, Block 2.**

Chairman Hancock opened the public hearing at 5:33 p.m. Director Chaffin reviewed the location, zoning data, surrounding land uses, and compliance with the Douglas Master Plan.

Staff recommendation was for denial based on incomplete submittal. The City is waiting on a proposal for the location of the dumpsters that meets code. Brach Nelson was on the phone representing the applicant. He discussed concerns of his board regarding the proposed location of the dumpster regarding flow of traffic and safety. There were public comments from Colton Rodeman regarding the vehicles parked regularly on Teton Way and the Semis that will be pulling out of Maverik onto Teton Way, and which way the flow of traffic would be and the wear and tear on Teton Way and the utilities under it. Mr. Rodeman was also concerned about disruption of utility services during construction Tanna Rodeman voiced concerns about the current condition of both ends of Teton Way and pointed out that truck traffic will only make it worse. Mrs. Rodeman also stated that without proper signage and traffic markings, semis will not adhere to the proposed traffic flow. She pointed out that there have already been two separate instances where semis have cut the corner too close after turning onto Teton Way and have damaged vehicles, one that was parked inside the parking lot of LaCosta. Jose Lopez, owner of LaCosta, also expressed his concern for semi traffic on Teton Way, including damage to the roads, damage to underground utilities, damage to his property and accidents. Chairman Hancock closed the public hearing at 5:56 p.m. and called for a motion. Commissioner Renstrom moved to table a decision until an agreeable dumpster location could be found, and until the concerns brought up by the public could be addressed, Commissioner Bauman seconded the motion. Chairman Hancock called for the vote; the motion passed unanimously.

Code Considerations

Director Chaffin discussed updates to the code being considered including and Ordinance removing the waiver of building permit fees for State and County entities; an Ordinance clarifying requirements for truck stops versus gas stations, an Ordinance specifying curb colors and their meaning; and an Ordinance creating a new zone for Civic and Public uses such as schools, churches, and government buildings.

Staff Report – City Council Action on Forwarded Items

B. CUP 03-23: Application by Helping Hands for a Conditional Use Permit for an additional accessory storage building and site improvements in a GRN Greenspace Zone at 801 S. 8th Street, a portion of the NW1/4 NE1/4 SE1/4, S9, T32N R71W.

At the Chairman's request, Director Chaffin reported that the item from the May 15, 2023 meeting had been approved by City Council as recommended by the Commission. In addition to the approval of the placement of accessory buildings, an approval of funds to replace windows in the building was included as well.

Other Business

Adjournment

There being no other business, Chairman Hancock called for a motion to adjourn the meeting. A motion to adjourn was made by Commissioner Renstrom and seconded by Commissioner Patterson. With a unanimous vote Chairman Hancock adjourned the meeting at 6:10 p.m.

Chairman, Planning & Zoning Commission

Secretary, Planning & Zoning Commission

**DOUGLAS PLANNING COMMISSION
STAFF REPORT
JULY 17, 2023**

**302 S. 5TH STREET
PRESCHOOL – CONDITIONAL USE PERMIT**

CASE NUMBER: CUP 04-23

PREPARED BY: Heidi McCullough, Planning Technician

MEETING DATES: July 17, 2023 – Planning and Zoning Commission
July 24, 2023 – City Council

REQUEST: Conditional Use Permit, R-1 Residential zone

PURPOSE: To operate a Preschool.

RECOMMENDATION: The Community Development Department recommends approval, with conditions, of this Conditional Use Permit to allow Marissa Beard to operate a Preschool in an R-1 Neighborhood Residential Zone at 302 S. 5th Street.

VICINITY MAP:



OWNER: Church of St. James
P.O. Box 1500
Douglas, WY 82633

APPLICANT: Marissa Beard
34 Sierra
Douglas, WY 82633

LOCATION:

- (1) Legal Description: Original Town of Douglas, Block 26, Lots 1 & 2
- (2) General Location: The subject property is located on the southwest corner of the intersection of South 5th Street and Elm Street.

LOT SIZE: 16,800 square feet

ZONING: R-1 Neighborhood Residential



ZONING DATA: The property is currently zoned R-1, Neighborhood Residential. This district “is intended to provide for low-density, single-family residential development and to provide for such community facilities and services as will serve the area residents while protecting the residential character and quality of the area.” According to the Douglas Municipal Code, daycare/preschool facilities are permitted as a Conditional Use in an R-1 zone.

EXISTING LAND USE: Preschool facility

SURROUNDING LAND USE:

North: Residential
South: Residential
East: Residential/ Church
West: Commercial

ZONING

R-3
R-1
R-1
B-1

ANNEXATION STATUS

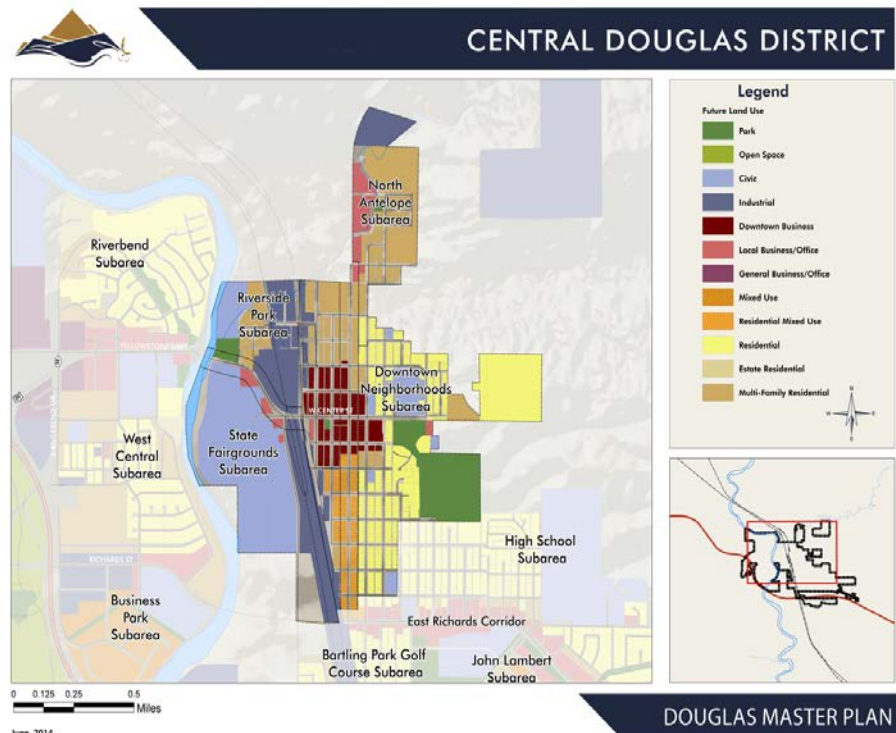
City
City
City
City

DESCRIPTION OF SITE AND SURROUNDINGS: The property is owned by St. James Catholic Church and has been predominantly utilized for educational purposes. It includes a large fenced and landscaped play area in addition to the classroom building. The surrounding land uses are noted above. The subject property is adjacent to single family residences to the north and south, St. James Catholic Church to the east, and a commercial building to the west. According to the city-data.com website, there are 2 sex offenders living within a half mile of the location. The applicant has been notified.

SPECIFICS OF THE PROPOSED USE: This conditional use permit would be in keeping with others for the same purpose by different applicants, which Council has approved over the last ten years. There are expected to be three to four different individuals conducting preschools from that location at staggered times. Pre-schools have been operating simultaneously in different sections of the location with no difficulties and no complaints from neighboring property owners. This applicant has previously operated a preschool at this location with no issues. The applicant's stated hours of operation would be Monday and Wednesday, from 8:00 AM to 11:00 AM, with a capacity for up to twelve (12) children no additional employees. St. James Church has approved the application, as the property owner. The applicant is in the process of completing state licensing, pending the issuance of the conditional use permit.

DOUGLAS MASTER

PLAN: The Douglas Master Plan, adopted June 23, 2014, designates the property as part of the Downtown Neighborhoods Subarea of the Central Douglas District. According to the Master Plan, the existing character of this area *"can be considered an extension of Downtown. Its future desired condition combines the preservation of adjacent historic neighborhoods with new medical facilities. Existing buildings should be redeveloped in a manner than complements this emerging medical and downtown residential district."*



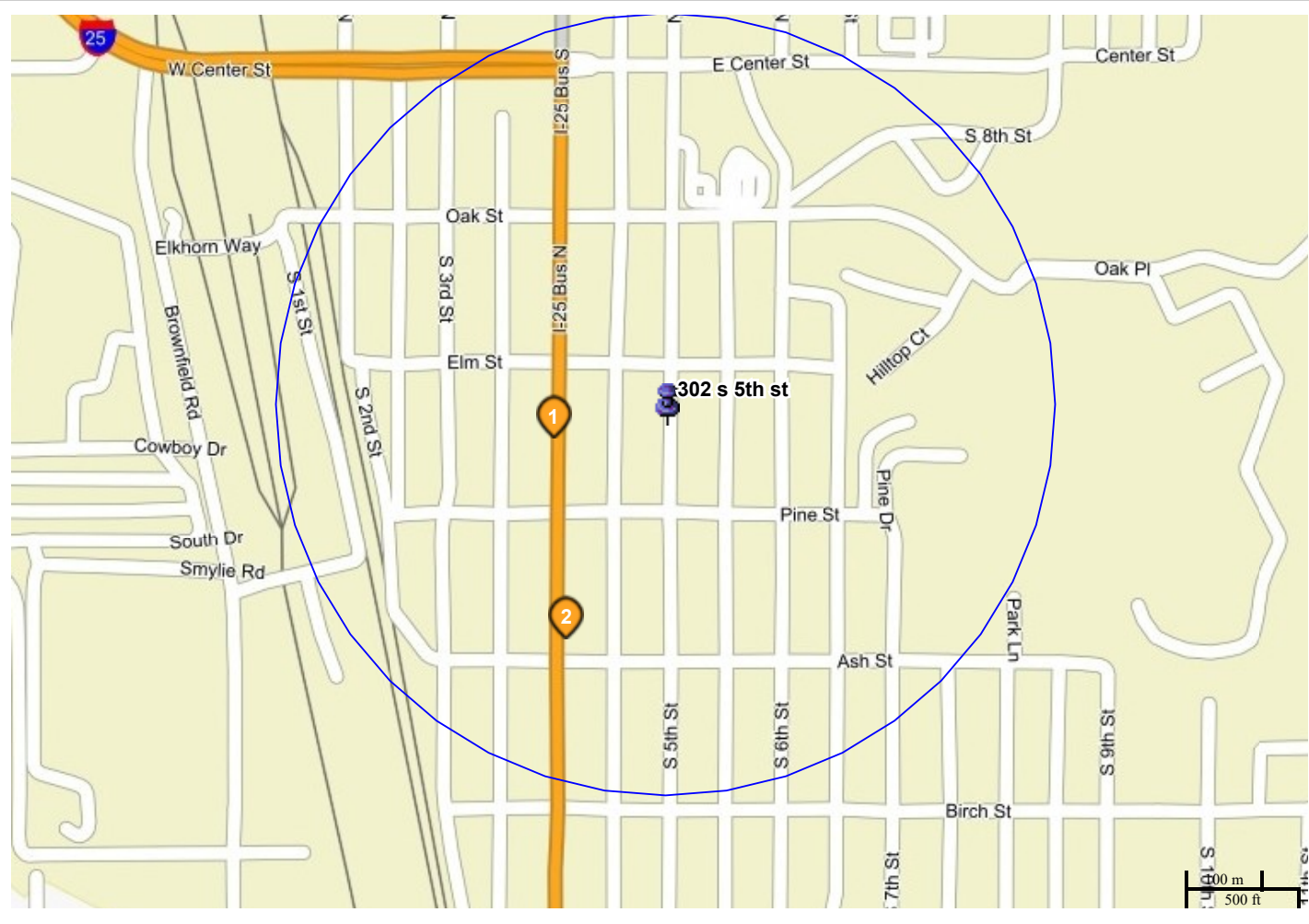
The addition of a pre-school facility in this location conforms with the Douglas Master Plan.

STAFF RECOMMENDATION: The Community Development Department recommends approval of the request for a conditional use permit to allow for a Preschool in an R-1 Mixed Residential Zone at 302 S. 5th Street with the following conditions:

1. The conditional use permit to operate a day care facility is specific to Marissa Beard. If this applicant, in the future, ceases operation or moves the facility to another location, the Conditional Use Permit will be null and void for the subject property.
2. The applicant shall adhere to the required State regulations pertaining to a daycare/pre-school facility.

Offender Search: Results

Found 2 offenders in 2 locations Search Address: 302 s 5th st Douglas, WY 82633 Radius: 0.25 miles ▼



Found 2 offenders in 2 locations Radius: 0.25 miles ▼

Displaying: ☒ Home Addresses ☐ Work/Volunteer Addresses [Update](#)

#	Alert	Name	Address	City	Zip	Type	View Details
	1	Gary Hatch	326 S 4TH ST	DOUGLAS	82633	Home Address	



2

[DAKOTA CARTWRIGHT](#) 429 S 4TH ST

DOUGLAS

82633

[Home](#)
[Address](#)



Found 2 offenders in 2 locations

Viewing offenders 1 through 2



Non-Mappable Offenders

Click [here](#) for a list of offenders with un-mappable or incomplete addresses.



Search Another Address

Click [here](#) to search for offenders using another address.

Tell A Friend



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Share this information with a friend!

Your Name

Friend's Email

SEND

**PLANNING AND ZONING COMMISSION
STAFF REPORT
JULY 17, 2023**

**1424 GRIFFITH WAY
PRIVATE SCHOOL – CONDITIONAL USE PERMIT**

CASE NUMBER: CUP 005-21

PREPARED BY: Heidi McCullough, Planning Technician

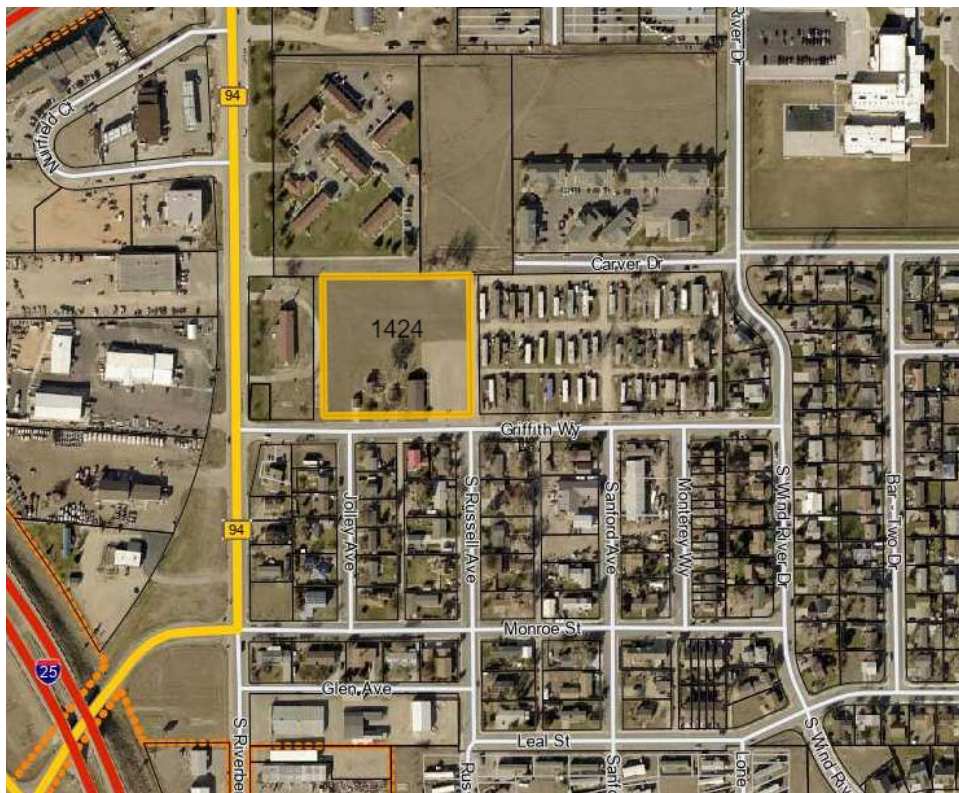
MEETING DATES: July 17, 2023 – Planning Commission
July 24, 2023 – City Council

REQUEST: Conditional Use Permit, R-1 Residential zone

PURPOSE: To operate a private school.

RECOMMENDATION: The Community Development Department recommends approval, with conditions, of this Conditional Use Permit to allow Douglas Christian Academy to operate a private school in an R-1 Neighborhood Residential zone at 1424 Griffith Way.

VICINITY MAP:



OWNER: Trinity Baptist Church
P.O. Box 1389
Douglas, WY 82633

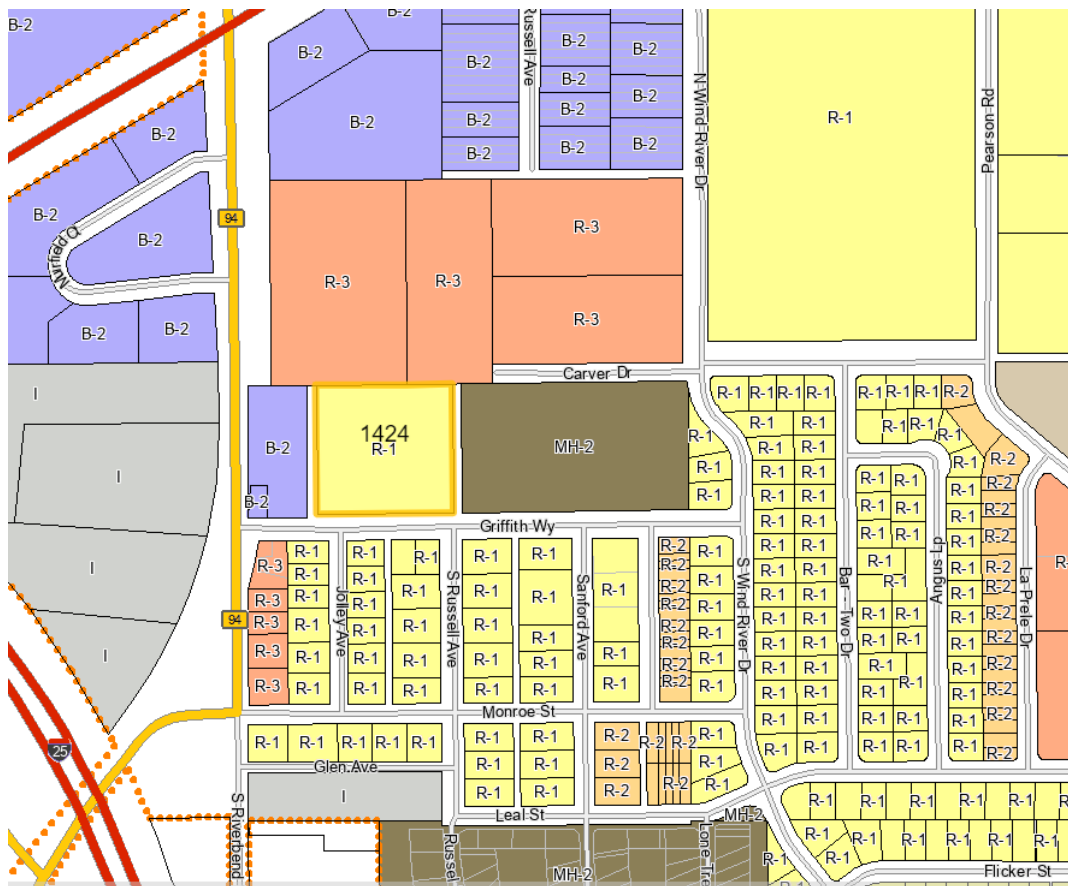
APPLICANT: Douglas Christian Academy
1418 Griffith Way
Douglas, WY 82633

LOCATION:

- (1) Legal Description: Part of Boardman-Rourke
- (2) General Location: The subject property is located on Griffith Way between Riverbend and Russell Avenue.

LOT SIZE: 3.41 Acres

ZONING: R-1 Neighborhood Residential



EXISTING LAND USE: Church

SURROUNDING LAND USE:

North: Low Income Apartments
South: Single Family Residential Neighborhood
East: Mobile Home Park
West: State Historic Site/Museum

ZONING ANNEXATION STATUS

R-3	City
R-1	City
MH-2	City
B-2	City

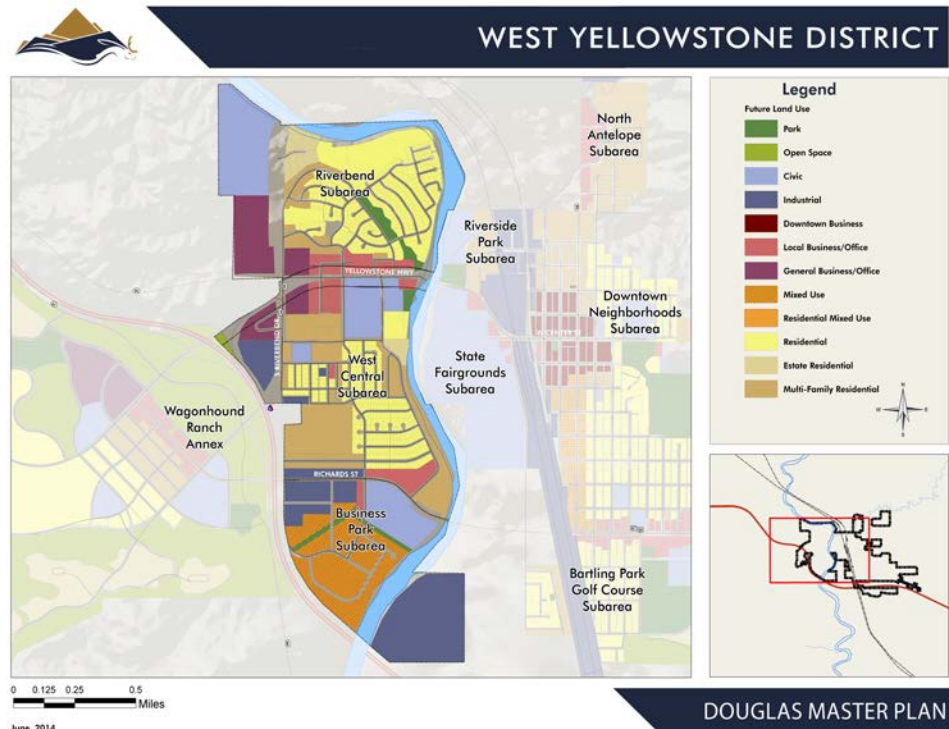
DESCRIPTION OF SITE AND SURROUNDINGS: The surrounding land uses are noted above. The subject property is surrounded by a mix of residential uses including low-income apartments, a mobile home park, single-family residences, and Camp Douglas Historic Site.

SPECIFICS OF THE PROPOSED USE: The applicant's stated hours of operation would be Monday-Friday, (or Monday-Thursday with State authorization) from 9:00 AM to 3:00 PM, with a capacity for 20-25 children. The school will be located in the formerly residential building next to the church, there is a fence surrounding the backyard. The location has a parking lot for additional off-street parking spaces.

DOUGLAS

MASTER PLAN:

The Douglas Master Plan, adopted June 23, 2014, designates this property as Civic in the West Central Subarea of the West Yellowstone District. Per the Master Plan *"The desired condition should build around the presence of the school and the multi-family development in the north...areas in the center should continue to evolve to higher quality neighborhood development."*



The proposed use of this property conforms to the future land use designation.

STAFF RECOMMENDATION: The Community Development Department recommends approval of the request for a conditional use permit to allow for a private school in an R-1 Neighborhood Residential zone at 1424 Griffith with the following conditions:

1. The applicant shall meet all state requirements.

**PLANNING AND ZONING COMMISSION
STAFF REPORT
JUNE 19, 2023**

**1108 WEST YELLOWSTONE
TYPE B DEVELOPMENT – MAVERIK**

CASE NUMBER: DEV 01-23

PREPARED BY: Community Development Department

MEETING DATES: June 19, 2023 – Planning Commission
June 26, 2023 – City Council

REQUEST: Type B Development Proposal

PURPOSE: Expansion of gas pump area and interior improvements.

RECOMMENDATION: The Community Development Department does not approval of the development plan and development agreement for improvements at 1108 West Yellowstone.

VICINITY MAP:



OWNER: Maverik Inc
185 S. State Street, Suite 800
Salt Lake City, UT 84111

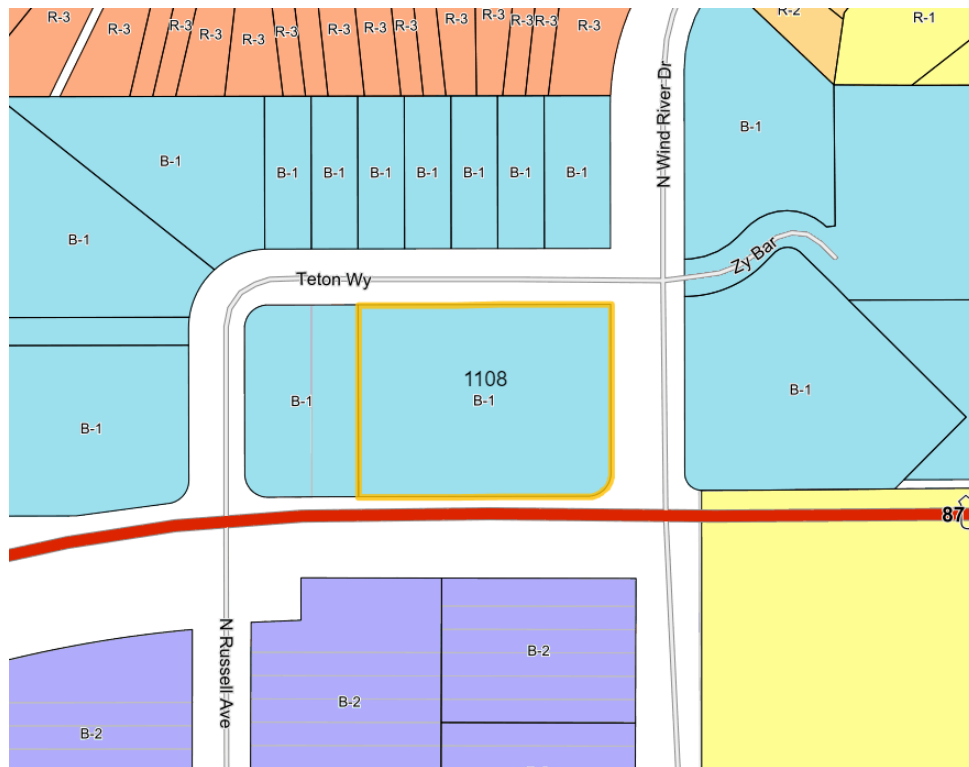
LOCATION:

- (1) Legal Description: Riverbend, Block 2, Lot 9
- (2) General Location: The subject property is on the north side West Yellowstone Highway at the corner of North Wind River Drive.
- (3) Address: 1108 West Yellowstone Highway, Douglas, WY

SIZE: Total Area: 1.28 acres

EXISTING LAND USE: Convenience Store

ZONING: The property is currently zoned B-1, Local Business Zoning District, which is intended to *provide for a broad range of retail and service functions*. Convenience Store is an allowed use in the B-1 Local Business Zone.



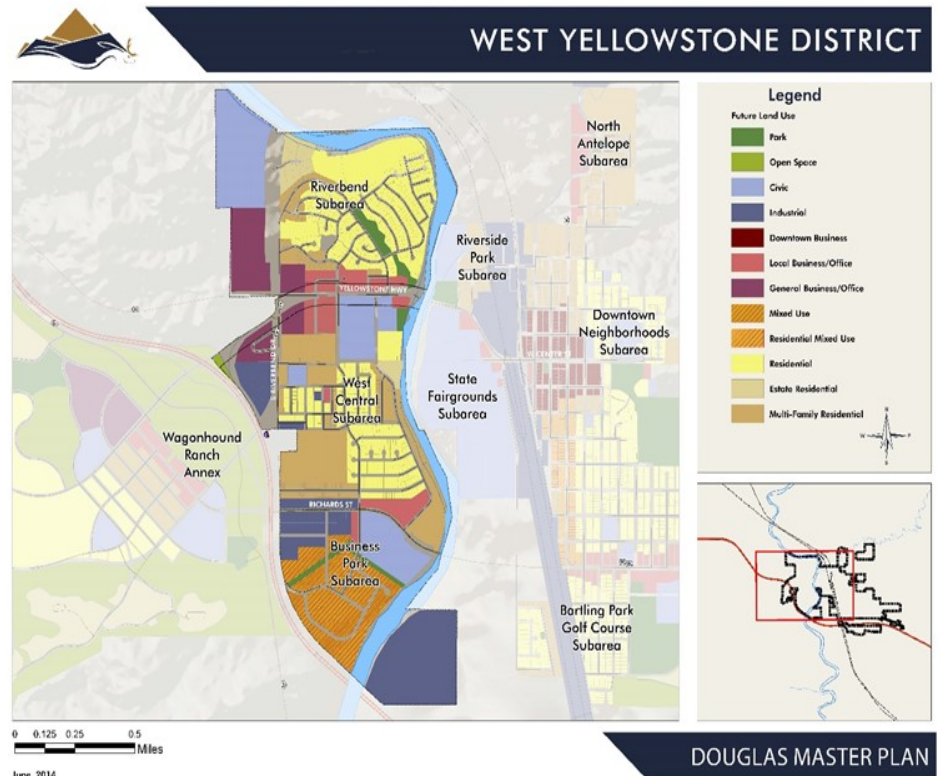
	SURROUNDING LAND USE:	ZONING	ANNEXATION STATUS
North:	Commercial Vacant Land	B-1	City
South:	Commercial Retail	B-2	City
West:	Restaurant	B-1	City
East:	Restaurant	B-1	City

DESCRIPTION OF SITE AND SURROUNDINGS: The property is surrounded by Commercial uses and vacant land as indicated above.

HISTORY: The subject property was annexed by the City of Douglas on March 8, 1976, as part of the Riverbend Addition.

DOUGLAS MASTER

PLAN: The Douglas Master Plan, adopted June 23, 2014, designates the property as being in the West Yellowstone Corridor of the West Yellowstone District. The Master Plans focus for this area consists Retail commercial activities in this area can target both the needs and preferences of visitors staying at nearby accommodations and tourists at large events (e.g. State Fair), as well as Douglas residents living in adjoining residential subdivisions in northwest Douglas.



The desired future of this area focuses on its connection to downtown, including streetscape and pedestrian environment improvements.

The improvement to a convenience store conforms with the Douglas Master Plan providing additional services for travelers on a primary gateway.

DEVELOPMENT STANDARDS: This Development Plan does not conform to the minimum Standards and Policies as described in City Code.

THE PROPOSED PROJECT:**PROPOSED PROJECT DETAILS**

Lot Size	1.28 Acres
Building Size	3157 SF
North Set Back	14.3 feet
South Set Back	127 feet
East Set Back	49 feet
West Set Back	144 feet
Building Height	15 feet
Parking	Total: 35 (34 required) ADA: 2 (2 required)
Landscaping	22% Provided (20% required)
Drainage	Grading and Drainage plans provided
Lighting Plan	No proposed change to lighting
Elevations	Not Provided
Floodplain	The proposed development is out of the floodplain

ADDITIONAL INFRASTRUCTURE REQUIRED: None.

REVIEWING AGENCIES AND COMMENTS:**Wyoming Department of Transportation:**

Approved the Traffic Impact Assessment.

City Engineer:

No comments

Public Works:

Expressed concerns regarding the location of the trash container.

Douglas Police Department:

No comments.

Douglas Fire Department:

No comments.

Public Comments:

No comments.

STAFF RECOMMENDATION: Based on findings of fact and compliance with all adopted Municipal Codes, the Community Development Department does not recommend approval of this development plan for improvements to the convenience store at 1108 West Yellowstone Highway based on submittal not fully meeting Municipal Code.

Site Data

Site Area = 51,607 s.f. (1.18 ac.)
Land Covered by Structures = 8,713 s.f. (16.88%)
Existing Building Area = 2,769 s.f.
Landscape Area Provided = 12,342 s.f. (23.92%)
New Improvement Area = 20,264 s.f. (39.27%)
New Canopy Area = 1,716 s.f. (3.33%)
Parking Provided = 24 stalls
(1 ADA)
(8 Parallel)
Parking Area = 4,944 s.f. (9.58%)

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Provide 1 Surface Mounted 4A:40BC Fire Extinguisher w/ Case For Every 2 Columns; Location to be Finalized by Fire Marshal.
- Install Air Hose Reel Per NEI Sheet P1.0, Mount The Hose Reel On The Inlet Drive Side (Direction Of Arrow) Of The Canopy Column.

Survey Control Note:

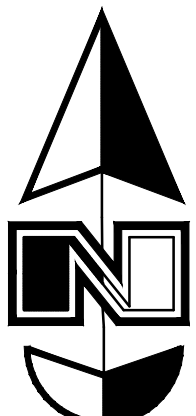
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Legend:

- Proposed Concrete Paving
- Proposed Heavy-Duty Asphalt Paving
- Existing Concrete
- Existing Asphalt Paving
- Snow Removal / Stacking Area



Scale: 1" = 20'

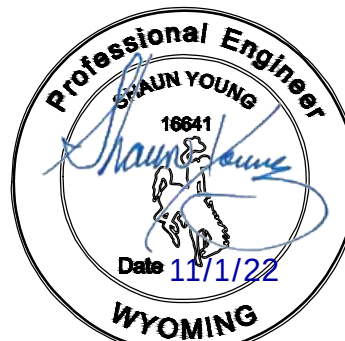
Site Construction Notes

- Const. Private Catch Curb & Gutter
- Const. Private Spill Curb & Gutter
- Const. Onsite Asphalt Paving
- Const. Thickened Edge Walkway
- Const. Heavy Duty Conc. Paving
- Const. Curb Transition
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Sheet C2.2 for Accessible Grading Details and Notes)
- Const. Conc. Curb Wall
- Const. Conc. Walkway at Front of Building
- Const. 4" Yellow Paint Stripe (Typ.) Contractor shall provide 13 mils min. thickness
- Const. Conc. Parking Stall
- Sawcut; Provide Smooth Clean Edge
- Const. Commercial Hi-Flow Dispenser Layout
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar, 2 Coats
- Conn. & Match Existing Improvements
- Const. Wedge Bollard
- Const. Conc. Pad Under Canopy
- Const. Underground Storage Tanks (Refer to Fueling Plans for Tank Pad and Tank Hole Dimensions)
- Const. Conc. Pad Over UST (Concrete Cap Dimensions per Fuel Dispensing Drawings)
- Install Maverik-Provided Picnic Tables
- Const. Petroleum Trench Cap (Furnish & Install Piping and Backfill per Fuel Dispensing Drawings. Pipe Routing Shown for Reference Only. Refer to Fuel Dispensing Drawings for Designed Routing, Furnish & Install Concrete Control Trench Cap Section, Re: Sheet C4.1/2. Trench Cap Width to Extend 2'-Foot Minimum Beyond Extends of Fuel Lines, Both Sides)
- Const. Conc. Sidewalk
- Const. Remote Fueling Fill Ports (See Sheet PE-1.0)
- Const. Painted ADA Parking Symbol
- Const. 4" Concrete Drive Approach / Waterway
- Const. Overfill Alarm See Electrical Site Plan Sheet E-1.0
- Const. Emergency Shut-Off See Electrical Site Plan Sheet E-1.0
- Const. Spill Style Mountable Curb
- Const. Conc. Runout Pad
- Const. 6" Dia. Steel Bollard Filled with Concrete
- Const. Const. Sidewalk Landing w/ Truncated Domes

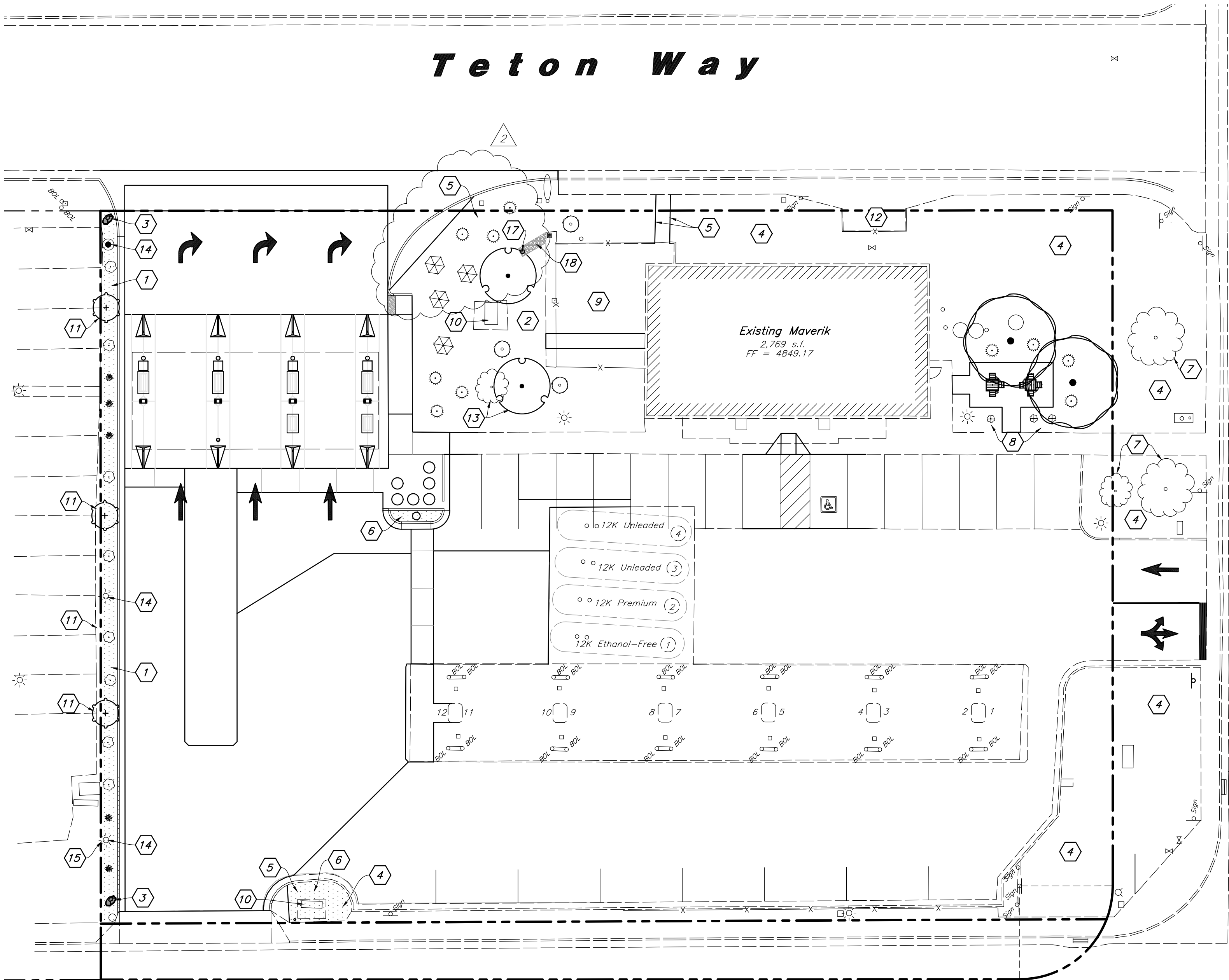
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.8529 - AWengineering.net



Site Plan
Maverik, Inc. Store #296
1108 W. Yellowstone
Douglas, WY 82633



18 Jul, 2022
SHEET NO.
C1.1



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
+	3	Ginkgo biloba 'Goldspire' / Fastigiate Maidenhair Tree (Male)	2" Cal. / 6-8' Ht.
•	2	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2" Cal. / 8-10' Ht.
•	2	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal. / 6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
•	3	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal
•	10	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	5 gal
•	4	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	1 gal
•	8	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
•	5	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Grass	1 gal
•	3	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	1 gal

Material Schedule

- Decorative Stone – Install a Three (3) Inch Depth Over Dewitt Pro5 Weed Barrier; Stone Shall be Installed in New Shrub Planters Where Shown on Plan and Washed Prior to Installation; Field Verify and Match Existing Stone Used at the Maverik; Smoothly Blend New into Existing; Submit Sample for Approval Detail: 3/L3.1
- Riprap – Install a Five (5) Inch Depth Over Dewitt Pro5 Weed Barrier; Stone Shall be Installed Where Shown on Plan and Washed Prior to Installation; Field Verify and Match Existing Stone Color Used at the Maverik; Stone Shall be Angular and 3-4" in Diameter; Submit Sample for Approval Detail: 3/L3.1

Scale: 1" = 20'



Landscape Data

Site Area = 55,692 s.f. (1.27 ac.)
Landscape Required = 11,138 s.f. (20%)
Landscape Area Provided = 12,342 s.f. (22%)
On-site Landscape = 8,631 s.f.
Off-site Landscape = 3,711 s.f.

Landscape Notes:

- See Sheet L3.1 for Plant Details.
- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used to Water New Plant Material. See Irrigation Sheets L3.1 for Layout and Sheet L3.1 for Details.
- Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
- All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.
- Plant Material Has Been Added to Screen Storage Areas and Also to Screen the Back and Sides of the Building.
- Adjust Proposed Location of Plant Material as Needed to Accommodate Existing Plant Material; Provide Equal Spacing Around Plant Material

Landscape Keynotes

- Existing Landscape Shall be Improved and New Plant Material Added; Remove Construction Debris; Install Decorative Stone with Weed Barrier
- Pull Back Existing Stone and Add Plant Material as Shown on Plan; Adjust Existing Stone and Add Stone to Bring to a 3 Inch Depth
- Existing Landscape Boulder Shall Remain in Landscape Area; All Landscape Boulders Shall be Salvaged From Removed Landscape Areas and Shall; Landscaper Shall Determine Locations
- Existing Landscape to Remain; Repair any Existing Landscape Damaged Due to Utility Installation
- Repair Landscape Up Against New Site Improvements; Add Decorative Stone and Blend into Existing to a 3 Inch Depth
- Install Decorative Stone in New/Existing Parking Island at Specified Depth – See Material Sch.
- Existing Tree Shall Remain and be Protected
- Adjust and Repair Existing Landscape Around Relocated Picnic Area; Pull Back Existing Stone and Add Plant Material as Shown on Plan; Adjust Existing Stone and Add Stone to Bring to a 3 inch Depth
- Mechanical Enclosure/Storage Area with Perimeter Chain-Link Fence – Trees Added for Screening
- Existing Elect. Transformer
- Install and Align Columnar Trees with Neighboring Businesses Parking Stalls Striping so That There is no Conflict with Overhanging Cars or Trucks
- Existing Dumpster Enclosure
- Dead Tree Shall be Removed; Replace Tree with New – See Plan
- New/Existing Light Pole – Evenly Space Plant Material Around Light Pole
- Preserve Neighboring Concrete Mow Curb if Possible Between the Property; Remove Existing Neighbor Weeds that Hang Over the Property Line (Typ.)
- Stormdrain Pipe Outlet; Verify that Riprap Doesn't Impede Water Flow From Outlet; Adjust Rip Rap as Needed
- New Stormdrain Pipe Outlet; Verify that Riprap Doesn't Impede Water Flow From Outlet Structure and Catch Basin; Adjust and Lower Riprap as Needed
- Install Riprap with Weed Barrier Where Shown on Plan

Landscape Maintenance

All New and Existing Landscape Areas Shall be Maintained by the Owner. Dead or Unhealthy Vegetation Must be Replaced at the Owner's Expense Within Sixty (60) Days. Landscaping not Replaced Within Sixty (60) Days of the Date of Determination of Non-Compliance Shall be Subject to the Enforcement Provisions of Chapter 9 of the City Code. See City Code 9 for More Information on Enforcement.



General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call 811 before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.

- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide 8 inch depth of imported topsoil in shrub areas.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil conditioner, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. Wood mulch shall be used around the base of the plant with the remainder of the planter in the specified decorative stone.
- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.

- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 Weed Barrier or equal. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #C732.
- The landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

REV	DATE	DESCRIPTION
2	10/31/2022	ASI #1
1	08/15/2022	Addendum #1

Designed by: JC
Drafted by: AD
Client Name: Maverik, Inc.
20-141 LS

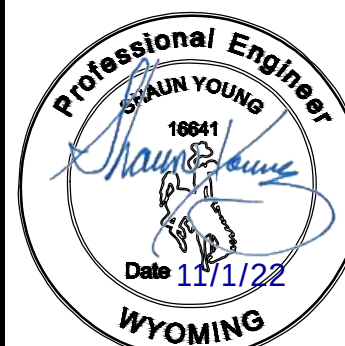
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2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.8529 – AWahlen@engineering.net



Landscape Plan

Maverik, Inc. Store #296

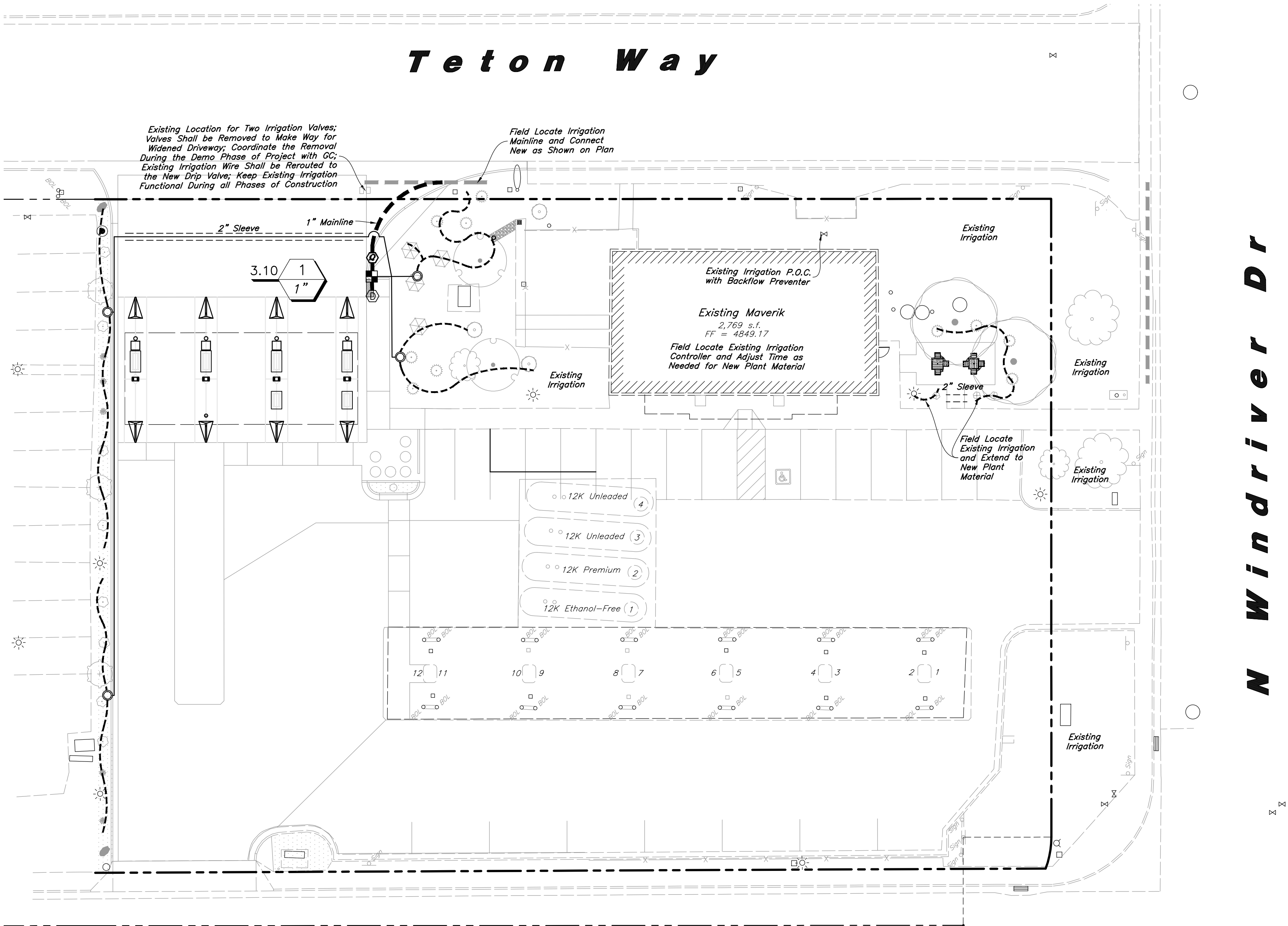
1108 W. Yellowstone
Douglas, WY 82633



18 Jul, 2022

SHEET NO.

L1.1



West Yellowstone Hwy

General Irrigation Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to Manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation system guarantee for all materials and workmanship shall be one year from the time of branch opening or final project acceptance (whichever is longer). Guarantee will include, but is not limited to winterizing, spring activation, repair, trench setting, backfilling depressions, and repairing freeze damage. Contractor must contact Landscape Architect to schedule pre and post guarantee inspection meetings. Failure to do so will mean the official guarantee period has not been activated or de-activated.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.

- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 40 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
- Install dielectric fittings whenever dissimilar metals are joined.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect. install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks or equal.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-eight (28) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
- Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the planting areas. No tees, els, or changes in direction shall occur under hardscape.

General Irrigation Note

Main Service Line & Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

General Irrigation Notes:

- See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting Details.
- Adjust Plant Material Location as Needed to Provide Easy Access to Irrigation Equipment.
- The Existing Irrigation System Shall be Modified to Work with New Site Improvements. Drip Irrigation Shall be Extend to New Plant Material. Verify Method of Drip Irrigation and Match. Two Existing Irrigation Valves to the Northwest of Building Shall be Removed to Make Way for New Widened Driveway. Existing Irrigation Wires Shall be Rerouted to Valve. Field Locate and Adjust Existing Irrigation Controller Timer for New Plant Material. ~~Verify that the Existing Irrigation System Remains Functional During All Phases of Construction and Provides Adequate Water to all Existing Plant Material. Temporarily Adjust System as Needed to Keep System Functional. Utilize Existing Irrigation Wiring. Store all Wiring Splices in a 10" Round Box. See Plan for More Detail.~~

IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XQZ-100-PRB-COM	Drip Remote Control Valve	1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	6/L3.1
	Rain Bird 44RC	Quick Coupler Valve With a Swing Joint	1 Inch in Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	7/L3.1
	Matco-Norca 759	Manual Drain Valve	1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	10/L3.1
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	5/L3.1
	Rain Bird XBS-940	3/4" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed		
	Rain Bird XQ-100	1/4" Distribution Tubing - Install one per Emitter		
	Rain Bird XB-20PC	Xeri-Bug Emitter (2 Gal/Hr.) - 1 per Perennial/Ornamental Grass, 2 per Shrub, & 3 per Tree		4&9/L3.1
	Rain Bird TS025	Tie Down Stake - Tubing to be Staked every 3'		
	Rain Bird DBG-025	Diffuser Bug Cap - Install one per Emitter		
	Rain Bird MDCFAP	Removable Flush Cap - Install at the End of Each Line		

P.O.C. Components

New Irrigation Shall be Connected to the Existing Irrigation System. The Irrigation System P.O.C. located at the back of the building by the Mechanical Equipment and consists of a Backflow Preventer, Maybe 1" in Size; Verify Size of Connection and if Backflow is working Properly

Pipes

	Schedule 40 PVC	Mainline Pipe	1 Inch Size; Schedule 40 Fittings Shall be Used for Mainline Components	8/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1 inch for PVC Pipe	8/L3.1

Controller

The Existing Controller Shall be Used for New Irrigation Improvements; Field Locate and Adjust Water Time as Needed for New Plant Material

Sleeving

	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals, and Controller Wire Located under Concrete and Asphalt Paving at specified depths	Contractor shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving is by the Landscape Contractor unless otherwise noted.	11/L3.1
	Valve Callout	Valve Number Valve Flow Valve Size		

VALVE SCHEDULE

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PRECIP. RATE
1	1"	Drip Emitters - Shrub Area	3.10	32.14	0.71 in/h

- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible.
- This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
- All sprinkler heads shall be set perpendicular to finish grade of the areas to be irrigated and shall be installed 6-8" from buildings walls, or within 4" of pavement, curbs, or header edges.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.
- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.

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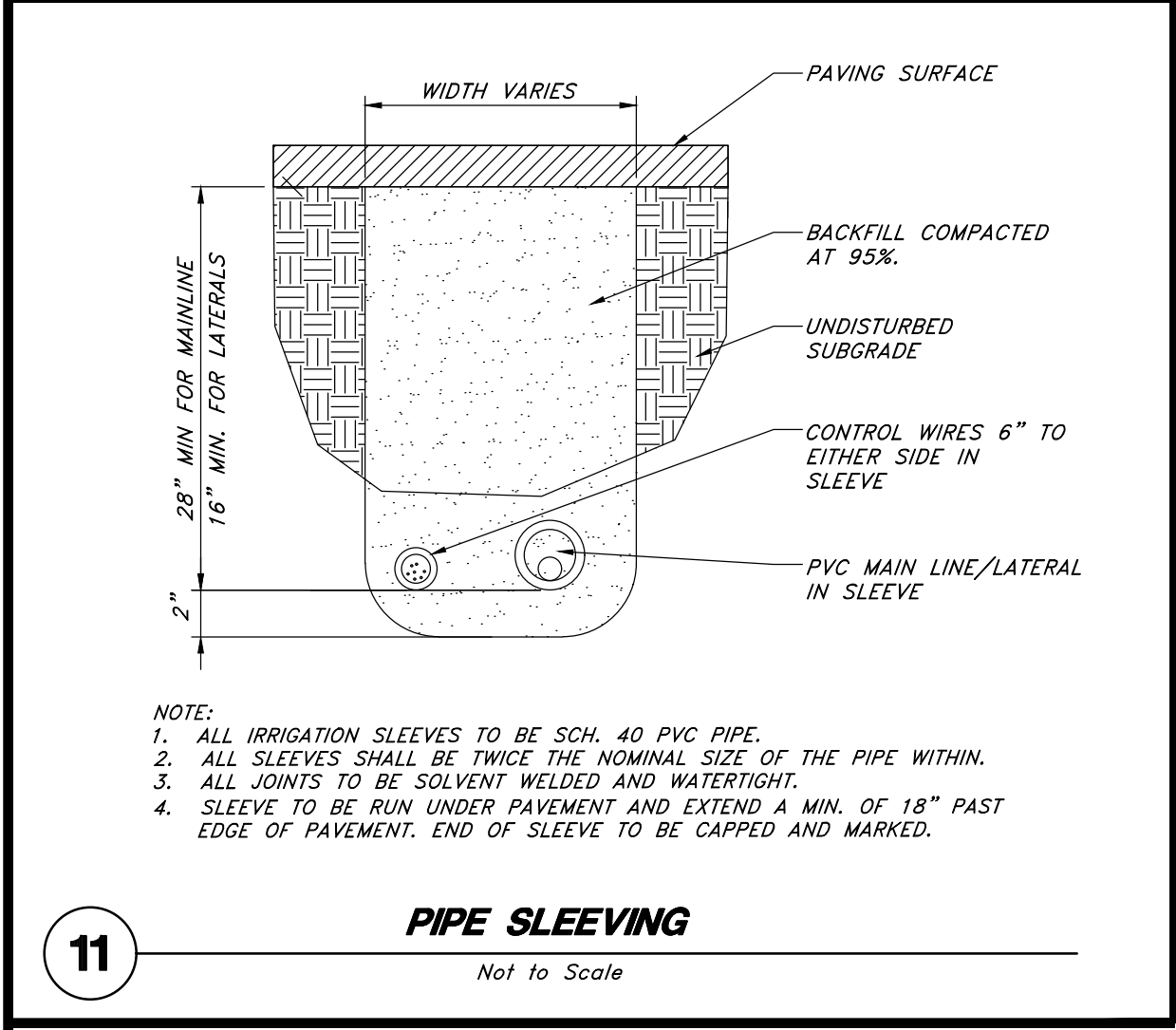
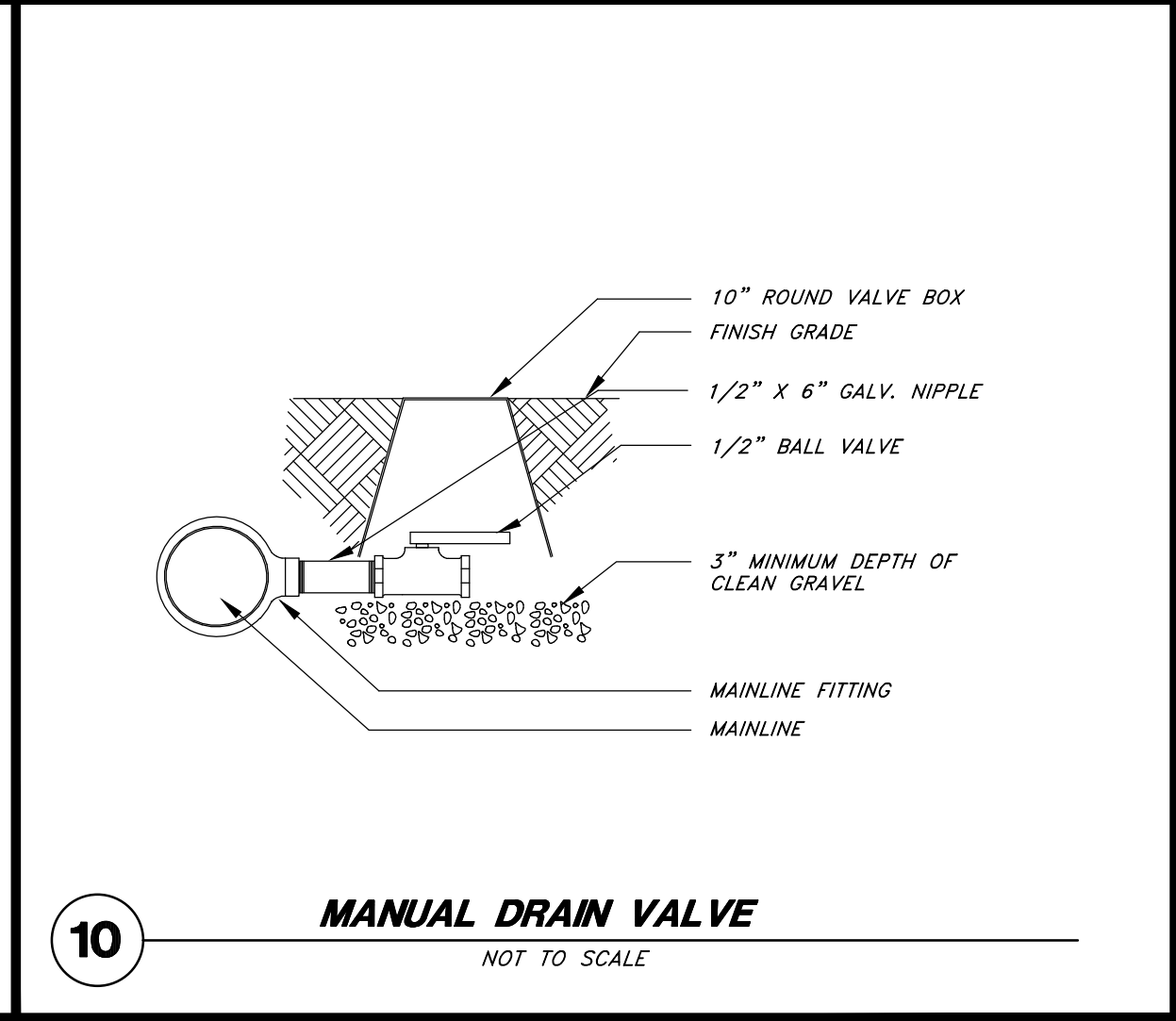
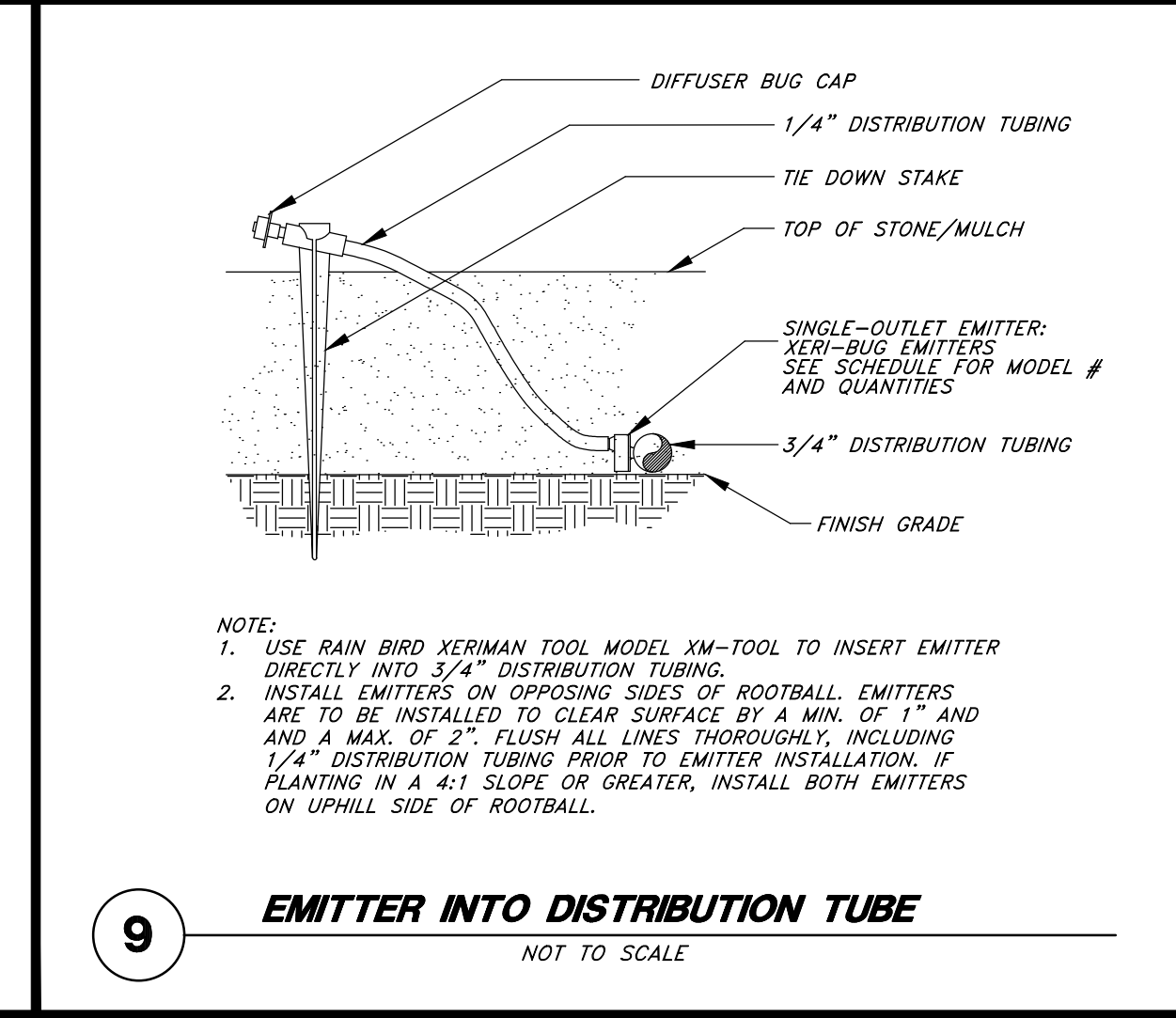
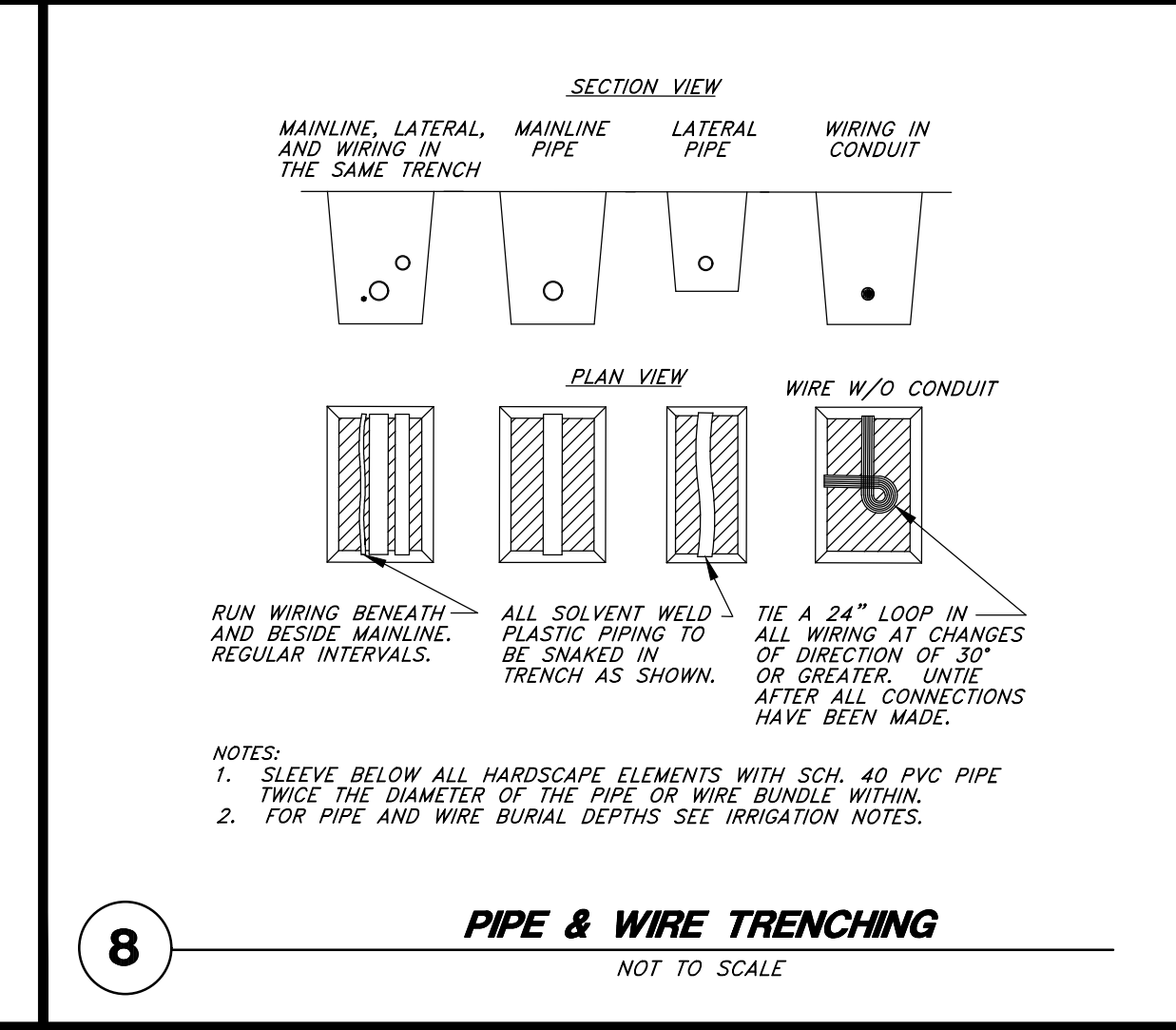
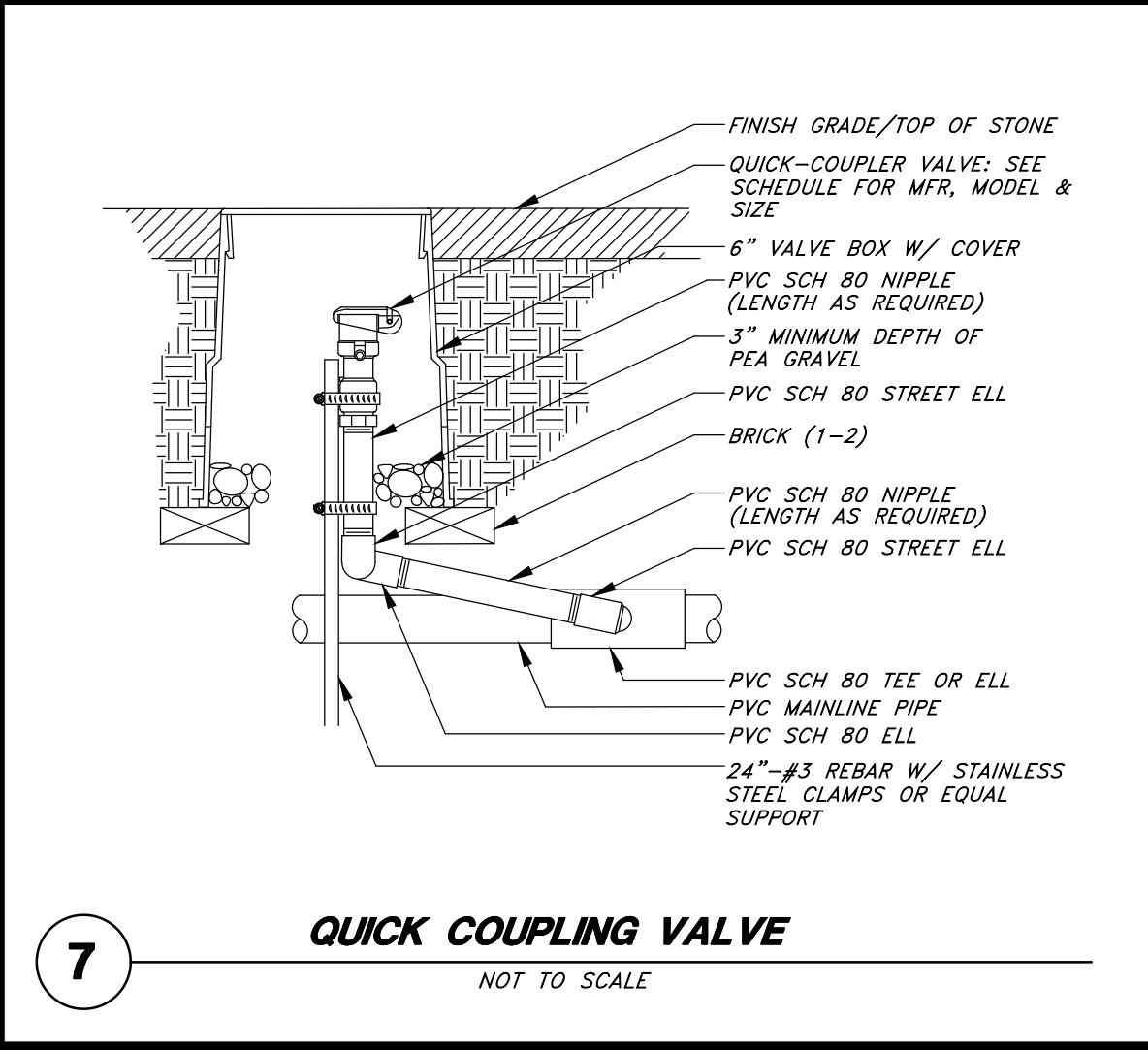
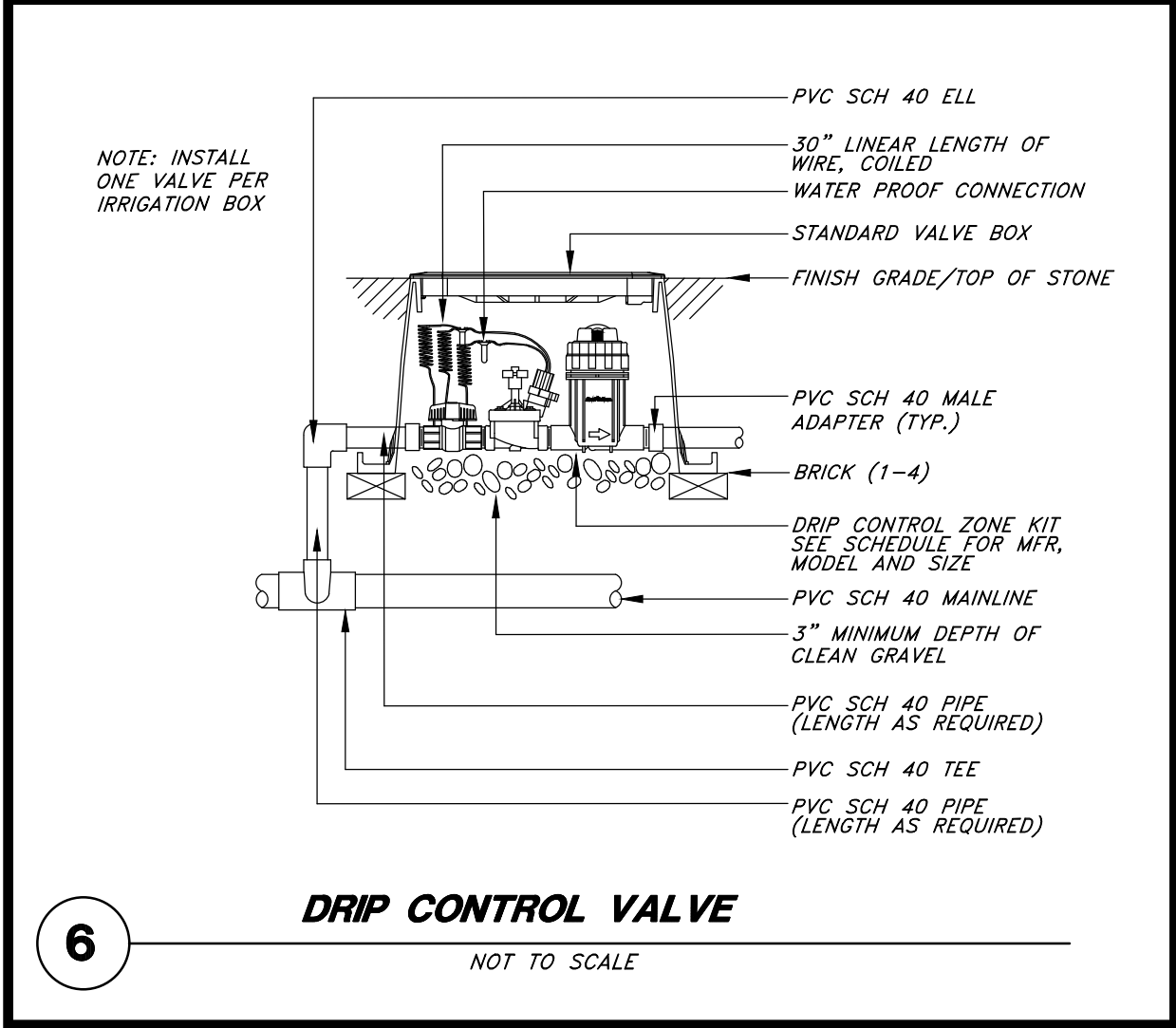
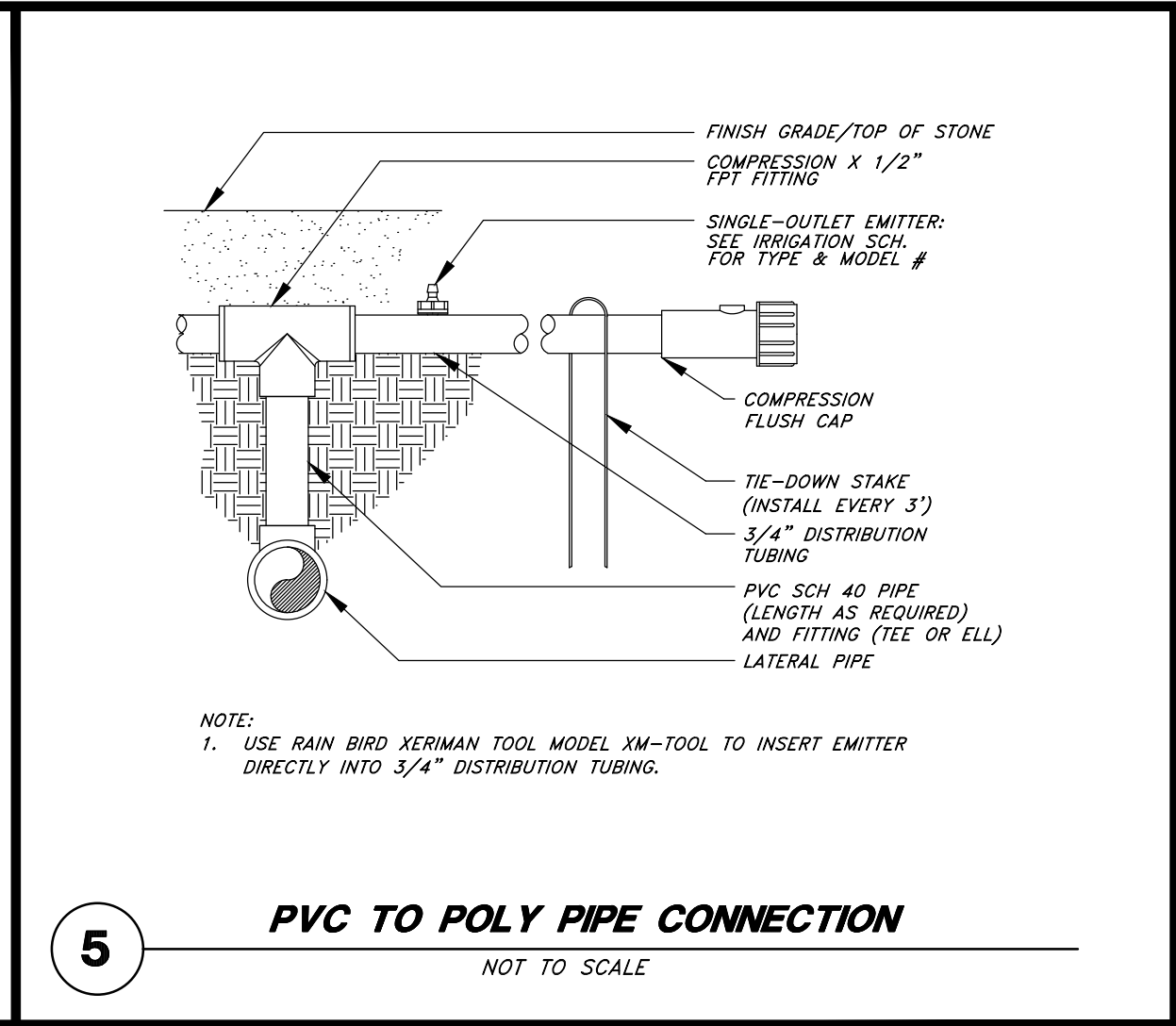
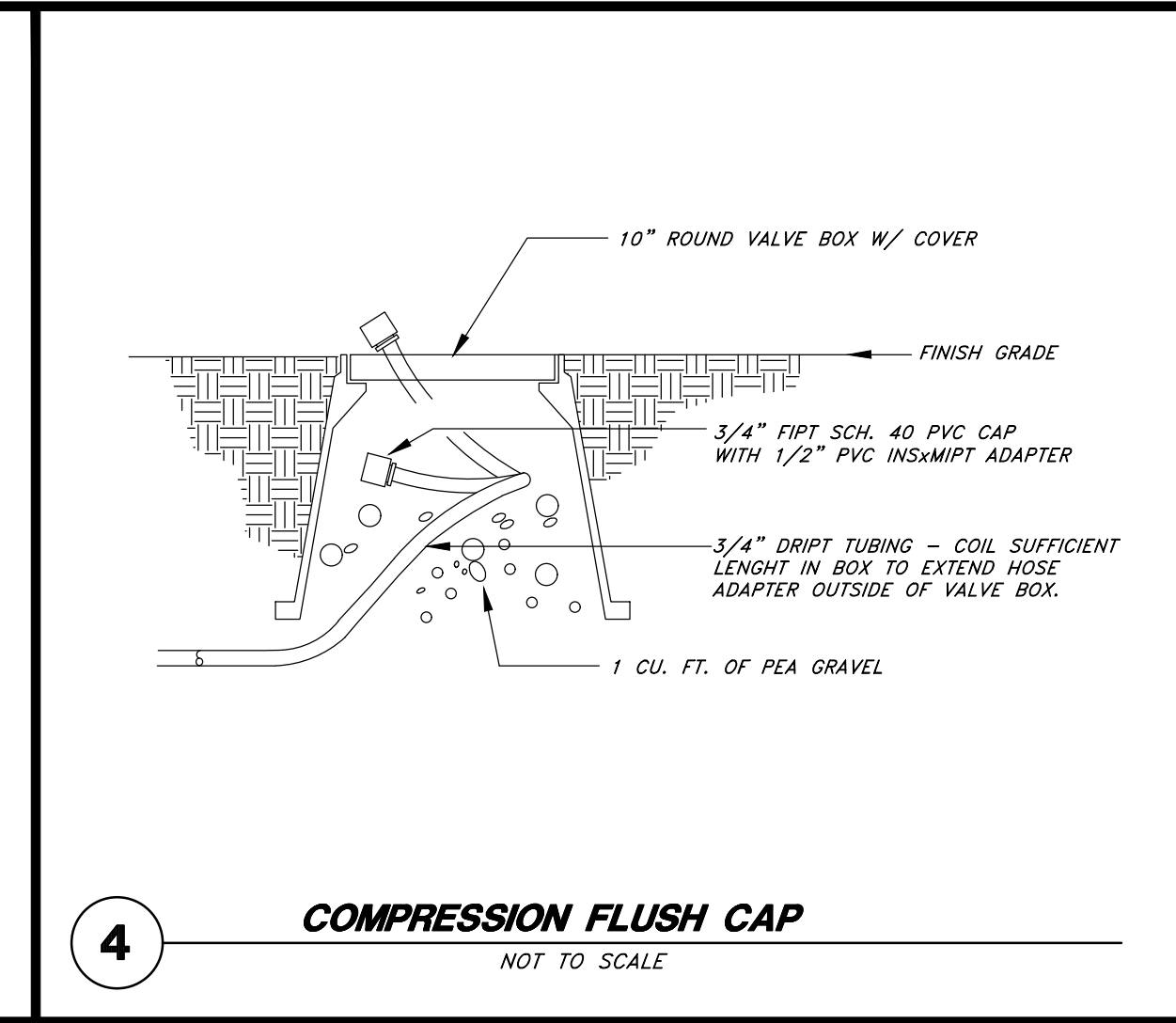
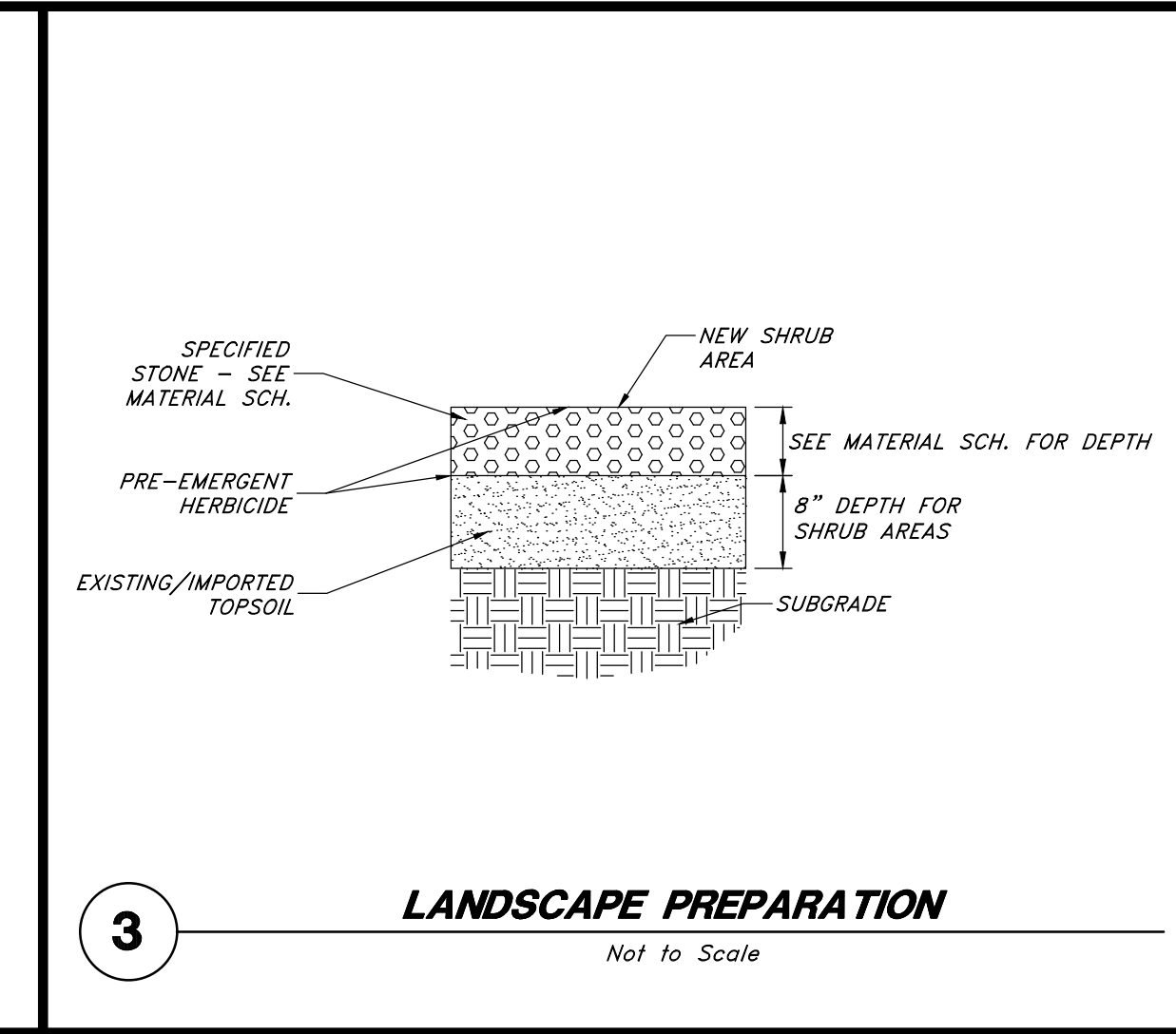
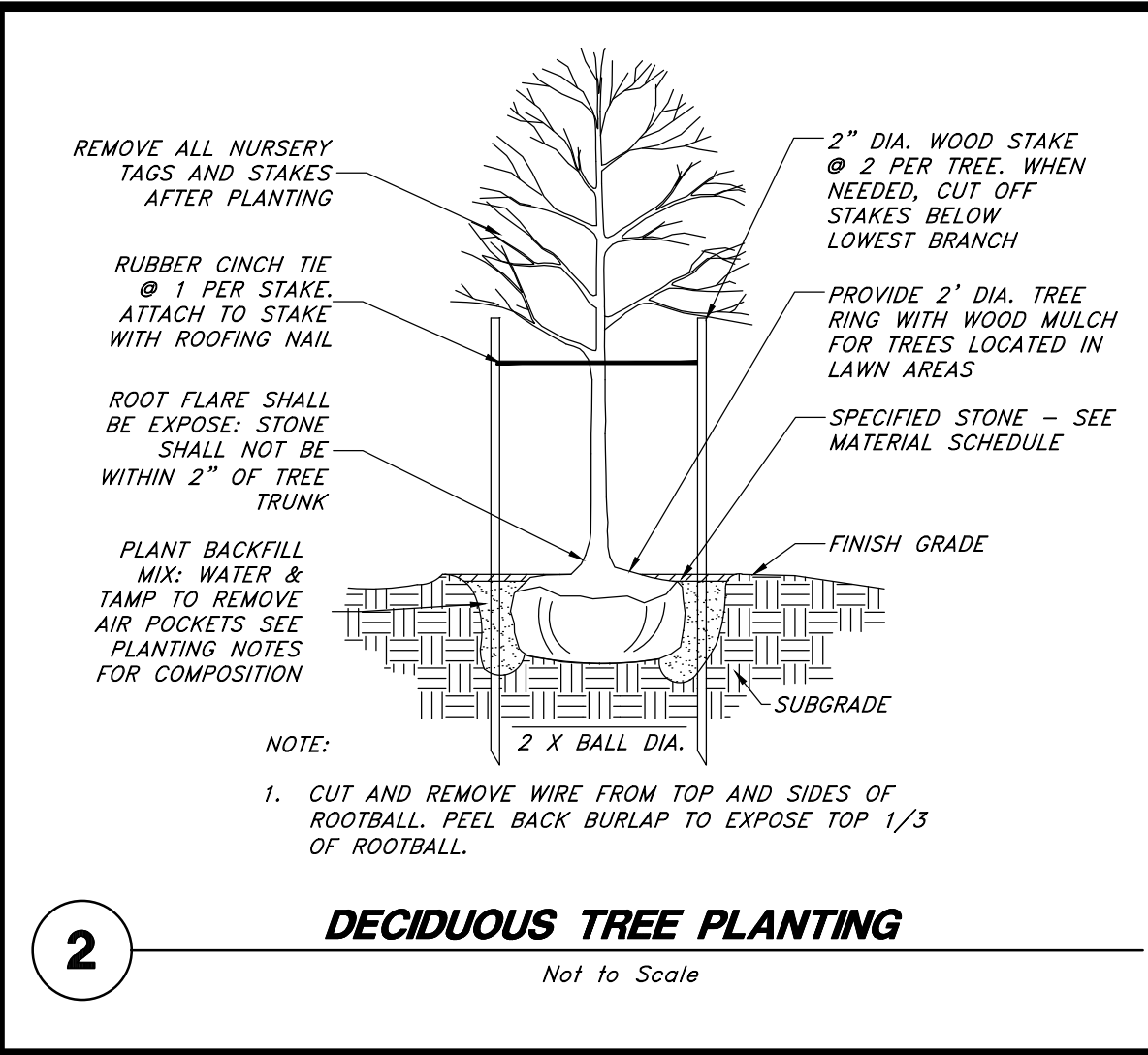
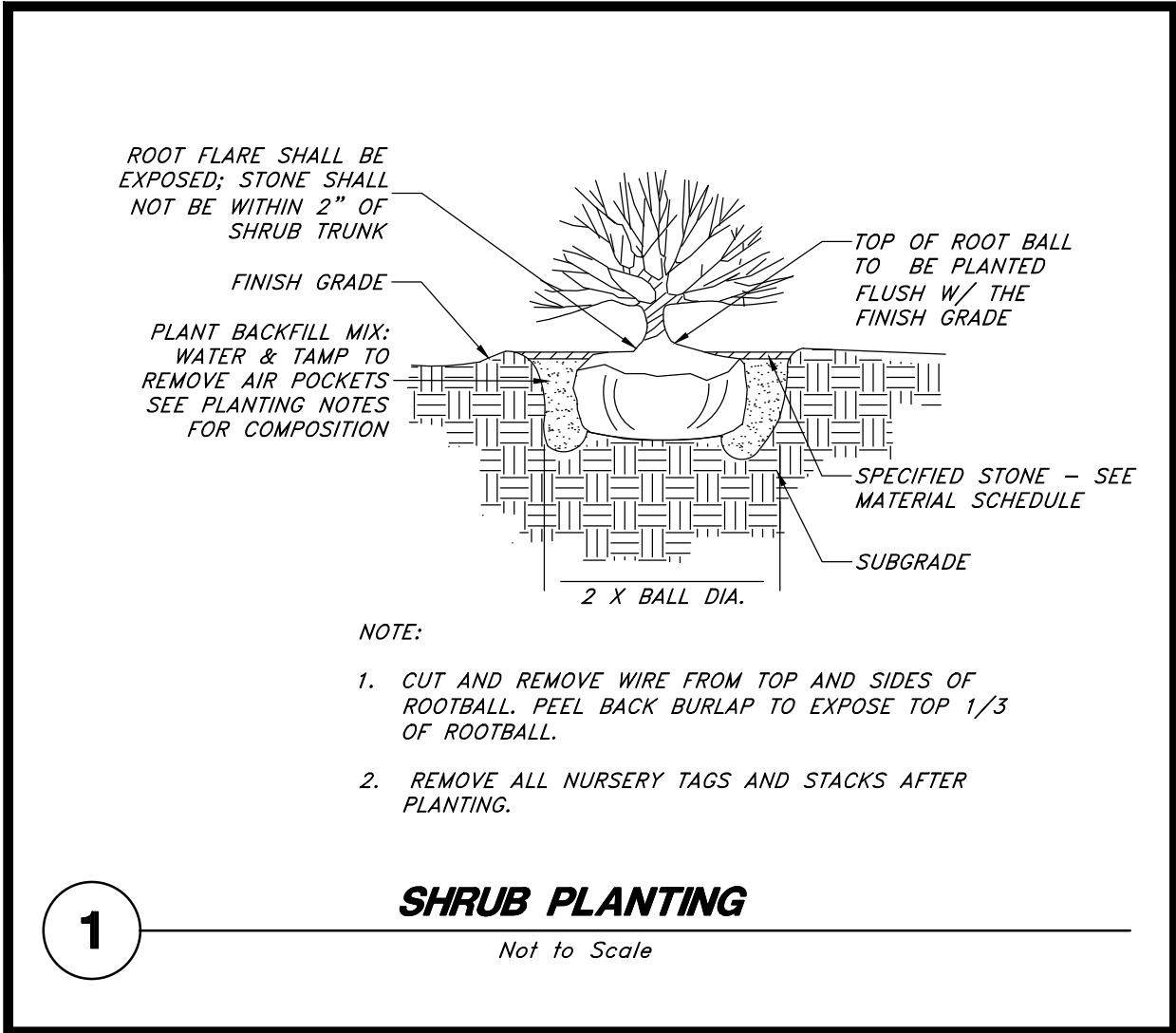
Irrigation Plan
Maverik, Inc. Store #296
1108 W. Yellowstone
Douglas, WY 82633

Professional Engineer
SKAUN YOUNG
1691
Date: 11/1/22
WYOMING

18 Jul, 2022

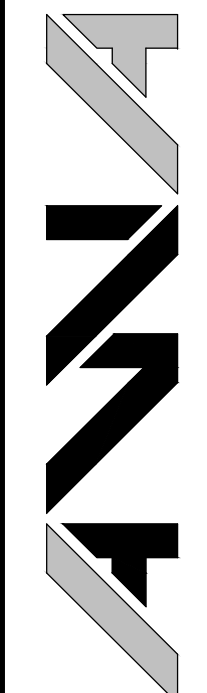
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L2.1



REV	DATE	DESCRIPTION
1	08/15/2023	Addendum #1
2	10/31/2022	ASI #1

Designed by: JC
Drafted by: AD
Client Name: Maverik, Inc.
20-141 IR

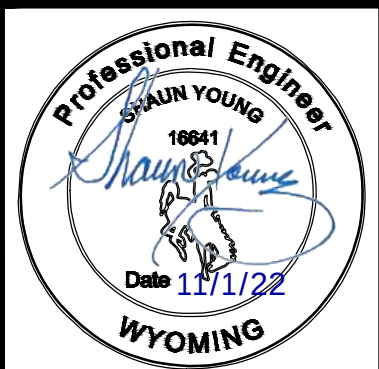


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Landscape & Irrigation Details

Maverik, Inc. Store #296
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Douglas, WY 82633



18 Jul, 2022
SHEET NO.
L3.1