



CITY OF **DOUGLAS** WYOMING

REGULAR CITY COUNCIL MEETING
June 8, 2026 – 4:00 PM

Thank you for your cooperation in facilitating the public meeting process!

****Reasonable accommodations for persons with disabilities who wish to participate in this public meeting shall be made upon request to the City Manager, at 307-358-3462****

****Council meetings are broadcast live on Cable Channel 9 and streaming live on the City of Douglas website****

1. **Call to Order, Roll Call, and Pledge of Allegiance**
2. **Disclosures by City Council Members**
3. **Approval of General Agenda (Corrections or Additions)**
4. **Leadership Moment**
5. **Public Comments**
6. **Approval of Consent Docket**
 - a. **Minutes**

City Council Special Call Meeting/Work Session: May 20, 2026
Regular City Council Regular Meeting: May 26, 2026
 - b. **Bills & Claims**

Warrant Register: May 2026
7. **Presentations**
 - a. **New Employee Introduction: Community Center Manager - Jacob Marcus**
 - b. **Proclamation: National Safety Month**
8. **Discussion Items**
 - a. **Fire Restrictions & Fireworks Ordinance - Council Direction**

9. Tabled Items

- a. **Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening**

10. Council Action Items

- a. **Resolution No. 2026-19A: Agreement of Acceptance WYDOT Right-of-Way for Access to Seven Trails Commerce Center Amended**
- b. **Appointment: Magdelyn Rasmussen to the Arts & Culture Board of Trustees**
- c. **Municipal Judge Services Contract: City of Douglas, Wyoming and H. Rick Hollon**
- d. **112: Change Order No. 3**

11. Public Comments

12. Council Information

- a. **Special Call Meeting: June 15, 2026, 11 AM, City Council Chambers, 101 N 4th St**
- b. **Converse County Joint Justice Center Joint Powers Board Meeting: June 18, 2026, 9 AM, Converse County Courthouse**

13. Circle Back Recap

14. Good People Doing Good Things

15. Community Update

- a. **Event Calendar**

16. Executive Session

17. Adjourn

Monday, June 8, 2026

Call to Order at:

Meeting Adjourned at:

City Council Special Call Minutes
May 20, 2026

1. Call to Order, Roll Call, and Pledge of Allegiance

Mayor Pexton called the meeting to order at approximately 1:00 p.m. Roll call was taken with the following City Council members present: Kim Pexton, Ron McNare, Perry Hershberger, Matthew Schmidt, Joel Weeks. Also present: Michele Carter, Interim City Manager/Human Resources Director; Mary Nicol, Administrative Services Director/Treasurer; Josh Oberlander, Chief Water/Wastewater Operator/Supervisor; Clint Nystul, Shop Supervisor; and Linda Doane, Deputy City Clerk.

2. Disclosures by City Council Members

None.

3. Approval of General Agenda (Corrections or Additions)

Councilmember Perry Hershberger moved to approve the General Agenda as presented. Seconded by Councilmember Matthew Schmidt. Motion carried 5-0.

4. Approval of Consent Docket

Councilmember Ron McNare moved to approve the Consent Docket as presented. Seconded by Councilmember Perry Hershberger. Motion 5-0.

a. Other – Consent

**Ordinance 1069: An Ordinance Amending Section 10.92.050 of the
Douglas Municipal Code Pertaining to Truck Routes, 2nd Reading**

5. Presentations

a. Proclamation: EMS Appreciation Week

Councilmember Hershberger read a proclamation declaring May 17–23, 2026 as "*Emergency Medical Services Week*."

6. Adjourn

Mayor Pexton called for a motion to adjourn the City Council Special Call Meeting. Councilmember Perry Hershberger moved to adjourn. Seconded by Councilmember Matthew Schmidt. Motion 5-0. Meeting adjourned at approximately 1:10 PM.

7. Council Work Session

a. Water: Discussion

Ben Jordan, *Forsgren & Associates*, and Josh Oberlander, Chief

Water/Wastewater Operator/Supervisor, provided an update. Discussion was held.

b. Budget: Discussion

Budget discussion was held.

Kim Pexton, Mayor

ATTEST:

Devon Litzsinger, City Clerk

Published: June 3, 2026

City Council Regular Minutes
May 26, 2026

1. Call to Order, Roll Call, and Pledge of Allegiance

Councilmember President McNare called the meeting to order at approximately 4:00 p.m. Roll call was taken with the following City Council members present: Ron McNare, Perry Hershberger, Matthew Schmidt, Joel Weeks. Kim Pexton via Teams. Also present: Michele Carter, Interim City Manager/Human Resources Director; Pierce Peasley, City Attorney; Clara Chaffin, Community Development Director; Devon Litzsinger, City Clerk; Todd Mathews, Interim Chief of Police; John Sterns, Utilities Supervisor; Mary Nicol, Administrative Services Director/Treasurer; Brandon Frye, Parks and Recreation Director; and Linda Doane, Deputy City Clerk. John Harbarger, Public Works Director via Teams.

2. Disclosures by City Council Members

None.

3. Approval of General Agenda (Corrections or Additions)

Councilmember Hershberger moved to approve the General Agenda as presented. Seconded by Councilmember Weeks. Motion carried 5-0.

4. Leadership Moment

None.

5. Public Comments

Dena Christiansen requested a broken sewer line be repaired. Mike Hagemann commented on the truck route, the Seven Trails project and screening requirements.

6. Approval of Consent Docket

Councilmember Weeks moved to approve the Consent Docket as presented. Seconded by Councilmember Schmidt. Motion carried 5-0.

a. Minutes

Regular City Council Meeting: May 11, 2026

b. Bills & Claims

c. Other – Consent

Ordinance 1069: An Ordinance Amending Section 10.92.050 of the Douglas Municipal Code Pertaining to Truck Routes, 3rd Reading

7. Discussion Items

- a. **Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening, 1st Reading**

Director Chaffin provided an overview. David Land, *Ayres & Associates*, was present to answer questions. Discussion followed.

- b. **Workforce Readiness Program and Community Development: Matt Schmidt**

Morryah McCurdy, *Director of The Enterprise*, updated the council regarding the Workforce Readiness Program.

8. Public Hearing

- a. **Resolution 2026-26: A Resolution Authorizing a Conditional Use Permit to Ed Pollock for the Installation of an Offsite Electronic Message Board Sign in a B-2 General Business Zone at 1730 Muirfield Court (United One Addition, Lot 11).**

Council President McNare opened the public hearing at 4:59 pm. Director Chaffin provided an overview. Public comment in favor or opposition: None. Closed public hearing at 5:02 pm. Councilmember Hershberger moved to approve resolution no. 2026-26 as presented. Seconded by Council Weeks. Motion carried 5-0.

- b. **Resolution 2026-27: A Resolution Authorizing Nathan Stencil to Proceed With a Type B Development for Construction of an Apartment Complex in a B-2 General Business Zone at Parcel 3 of Seven Trails Commerce Center, NE 1/4, NE 1/4 of Section 7 and a Portion of the SE 1/4, SE 1/4 of Section 6, T32N. R71W of the 6th PM.**

Council President McNare opened the public hearing at 5:03 pm. Director Chaffin provided an overview. Public comment in favor or opposition: Director Chaffin read the following public comments: Peter Haman, a resident bordering the proposed project requested a barrier that will keep traffic off his property. Chuck Bayne raised concerns regarding icy roads, which were forwarded to WYDOT; fencing on the site to prevent traffic from crossing onto adjacent property; and limited project access. The following residents spoke: Doug Fenton commented that the town will die if we don't allow these types of developments. Morryah McCurdy commented she supports this project and that our town needs housing for the smaller companies to draw employees. Noah Milmont agreed that we shouldn't make water rights a stipulation for developers to develop. Closed public hearing at 5:17 pm. Councilmember Hershberger moved to approve resolution no. 2026-27 as presented. Seconded by Councilmember Schmidt. Motion carried 4-1. Councilmember

Weeks voted against.

9. Tabled Items

- a. Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening**

No action.

10. Council Action Items

- a. Resolution 2026-25: A Resolution Amending Previously Established Hours Of Operation And Admission Policies For Douglas Municipal Waterpark**

Director Frye provided an overview. Councilmember Weeks moved to approve Resolution 2026-25 as presented. Seconded by Councilmember Schmidt. Motion carried 4-0. Mayor Pexton exited the meeting prior to the vote.

- b. Building Permit Fee Waiver Request: Divine Mercy Academy**

Director Chaffin provided an overview. Councilmember Weeks moved to approve the Building Permit Fee Waiver requested from Divine Mercy Academy as presented. Seconded by Councilmember Hershberger. Motion carried 4-0.

- c. July 4th Festivities**

Interim City Manager Carter provided an overview. Councilmember Weeks moved to approve July 4th as a free day at the pool and contribute \$2,800 for a country band as part of the festivities. Seconded by Councilmember Schmidt. Motion carried 4-0.

11. Financial Report

- a. Financial Report: April 2026**

Director Nicol provided a report.

12. Public Comments

None.

13. City Manager's Report

Interim City Manager Carter provided a report. Councilmember Weeks had questions. Councilmember Hershberger exited the meeting during the report.

14. Council Information

Notice of possible quorums: May 29th, 11 am, Grand Opening of the pool, June 3rd, 7:00 am, City/County breakfast, and June 3rd, 4th and 5th WAM

Summer Conference in Laramie.

a. Aid To Others Quarterly Report: CCSD #1 Rec Center

15. Circle Back Recap

City Clerk Litzsinger provided the circle back recap.

16. Good People Doing Good Things

Councilmember Hershberger asked for the daughter of Randi Hobbs to be recognized for aiding an injured baby bird into the shade.

17. Community Update

Councilmember McNare questioned Center St. opening and Councilmember Weeks asked if the pool would be open during the State Fair.

a. Event Calendar

A video highlighting upcoming events was played.

18. Executive Session

19. Adjourn

Council President McNare called for a motion to adjourn the Regular City Council Meeting. Councilmember Weeks moved to adjourn the Regular City Council Meeting of May 26, 2026. Seconded by Councilmember Schmidt. Motion carried 3-0. Meeting adjourned at approximately 5:48 pm.

Kim Pexton, Mayor

ATTEST:

Devon Litzsinger, City Clerk

Published: June 3, 2026

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
307 SHIRTS & MORE				
1649	SCREEN PRINT POLOS	05/15/26	168.00	10-5202-3233
Total 307 SHIRTS & MORE:			168.00	
307 SIGNS AND MORE				
11030	SIGN: KEEP CLOSED	05/14/26	130.62	10-5354-3210
11030	SIGN: EMERGENCY EXIT	05/14/26	65.61	10-5354-3210
11030	SIGN: POOL CAPACITY	05/14/26	49.92	10-5354-3210
11030	SIGN: SPLASH CAPACITY	05/14/26	47.36	10-5354-3210
11030	280 STICKERS	05/14/26	3.51	10-5354-3210
11065	5TH CENT SIGNS	05/28/26	87.12	10-5351-3210
Total 307 SIGNS AND MORE:			384.14	
5 ACES PRINTING LLC				
050126	SUBSCRIPTION	05/01/26	52.00	10-5100-2120
Total 5 ACES PRINTING LLC:			52.00	
71 CONSTRUCTION				
052826	RETAINAGE RELEASE-GOLF COURSE POND LINER PROJECT	05/28/26	11,435.63	65-20000210
Total 71 CONSTRUCTION:			11,435.63	
AFLAC				
051526	Payroll Deduction	05/15/26	390.32	10-20000225
Total AFLAC:			390.32	
ALCOHOL & DRUG TESTING SERV				
52523	TESTING SERVICES	04/30/26	350.00	10-5100-2158
Total ALCOHOL & DRUG TESTING SERV:			350.00	
ALLIANCE COMMUNICATION & TECHNOLOGIES LL				
19174	GATE ACCESS CONTROLLER SUPPORT FEE	03/26/26	1,380.00	31-5402-2134
Total ALLIANCE COMMUNICATION & TECHNOLOGIES LL:			1,380.00	
AMUNDSEN ASSOCIATES LLC				
2026-018 REV	COMMUNITY FACILITY ARCHITECTURAL	05/05/26	8,066.00	57-5570-2153
Total AMUNDSEN ASSOCIATES LLC:			8,066.00	
AMUSEMENT RESTORATION COMPANIES				
2333	GEL COAT WATER SLIDES	05/12/26	29,665.00	55-5550-6544
Total AMUSEMENT RESTORATION COMPANIES:			29,665.00	
ARGIS SOLUTIONS INC				
INV-039191	GIS ASSESSMENT	04/30/26	416.50	10-5100-2158
Total ARGIS SOLUTIONS INC:			416.50	
ARROW ELECTRIC				
57832	LIGHT FIXTURE REPLACEMENT	05/19/26	286.36	31-5401-2155
57833	HEATER/RECEPTACLE INSTALLATION	05/19/26	4,062.44	32-5501-2155

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
57882	REMOVE BOND IN PANEL/SEPARATE GROUNDS FROM NEUTR	05/21/26	143.98	34-5340-2155
Total ARROW ELECTRIC:			4,492.78	
ATLAS PREMIER SERVICE				
89950	COPIER MAINTENANCE AGREEMENT	05/10/26	156.98	10-5201-2156
Total ATLAS PREMIER SERVICE:			156.98	
AYRES ASSOCIATES INC				
226171R	SAFE STREETS FOR ALL-CORRECTION	10/30/25	80.00	56-5560-2153
23000	PROFESSIONAL SERVICES-SAFE STREETS FOR ALL	05/05/26	44,041.31	56-5560-2153
51-7293-00	LANDSCAPE CODE UPDATE	05/16/26	2,912.00	10-5106-2158
Total AYRES ASSOCIATES INC:			47,033.31	
AZTECA SYSTEMS				
INV11144	CITYWORKS SOFTWARE	03/31/26	20,000.00	10-5103-2158
Total AZTECA SYSTEMS:			20,000.00	
BARCO MUNICIPAL PRODUCTS INC				
IN0002156	NO PARKING CONE SIGNS	05/27/26	404.04	10-5305-3210
Total BARCO MUNICIPAL PRODUCTS INC:			404.04	
BAUM, OLIVE				
050626	TREE REMOVAL REIMBURSEMENT	05/06/26	1,000.00	10-5351-2158
Total BAUM, OLIVE:			1,000.00	
BCN TELECOM INC				
6500424	PHONE SERVICE	05/01/26	106.70	10-5100-2134
6500424	PHONE SERVICE	05/01/26	.05	10-5352-2134
Total BCN TELECOM INC:			106.75	
BECKER, KAREN & GARY				
2390	REPURCHASE OF CEMETERY PLOTS	05/08/26	250.00	10-5100-2175
Total BECKER, KAREN & GARY:			250.00	
BENNETT, SANDY				
130675	SEW PATCHES	05/01/26	12.00	10-5202-3233
130677	SEW PATCHES	05/08/26	24.00	10-5202-3233
Total BENNETT, SANDY:			36.00	
BISON PUMP & SUPPLY				
600439	BALL VALVE	04/29/26	89.64	31-5402-3210
600632	HYDRAULIC HOSE	05/12/26	505.44	34-5340-3210
600632	HYDRAULIC FITTING	05/12/26	148.10	34-5340-3210
600632	HYDRAULIC FITTING	05/12/26	104.90	34-5340-3210
600632	HOSE ASSEMBLY	05/12/26	19.00	34-5340-3210
600654	HYD FITTING	05/12/26	114.80	34-5340-3210
600654	HYD FITTING	05/12/26	49.85	34-5340-3210
600654	HYD FITTING	05/12/26	3.55	34-5340-3210
600654	HYD FITTING	05/12/26	14.63	34-5340-3210

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
600654	HYD FITTING	05/12/26	5.00	34-5340-3210
600654	HYD FITTING	05/12/26	11.31	34-5340-3210
600664	HOSE ASSEMBLY	05/12/26	22.29	34-5340-3210
600664	HOSE FITTING	05/12/26	48.50	34-5340-3210
600664	HOSE ASSEMBLY	05/12/26	9.50	34-5340-3210
600664	BALL VALVE	05/12/26	41.75	34-5340-3210
600664	ADAPTER	05/12/26	5.16	34-5340-3210
600664	ADAPTER	05/12/26	6.58	34-5340-3210
600705	WIRE	05/13/26	69.30	34-5340-3210
600705	FITTING	05/13/26	39.83	34-5340-3210
600705	FITTING	05/13/26	106.85	34-5340-3210
600705	HOSE ASSEMBLY	05/13/26	9.50	34-5340-3210
600705	HOSE GUARD	05/13/26	13.92	34-5340-3210
600938	SWIVEL	05/28/26	169.71	34-5340-3210
600938	ADAPTER	05/28/26	16.36	34-5340-3210
600938	NIPPLE	05/28/26	5.67	34-5340-3210
600938	BUSHING	05/28/26	7.64	34-5340-3210
600938	ELL	05/28/26	13.40	34-5340-3210
Total BISON PUMP & SUPPLY:			1,652.18	
BLACK HILLS ENERGY				
051526	GAS SERVICE	05/15/26	186.79	10-5100-2133
051526	GAS SERVICE	05/15/26	808.03	10-5301-2133
051526	GAS SERVICE	05/15/26	143.74	10-5352-2133
051526	GAS SERVICE	05/15/26	112.22	10-5354-2133
051526	GAS SERVICE	05/15/26	535.59	31-5401-2133
051526	GAS SERVICE	05/15/26	150.63	31-5402-2133
051526	GAS SERVICE	05/15/26	281.77	32-5502-2133
051526	GAS SERVICE	05/15/26	329.61	34-5340-2133
051526	GAS SERVICE	05/15/26	42.89	10-5351-2133
Total BLACK HILLS ENERGY:			2,591.27	
BLACK HILLS POWER EQUIPMENT				
68517	MULCH BLADES	03/25/26	307.44	10-5352-3210
Total BLACK HILLS POWER EQUIPMENT:			307.44	
BLOEDORN LUMBER - DOUGLAS				
9324529	PLYWOOD	04/20/26	61.33	93-5930-2158
9324529	LINE MARKING ROLLER	04/20/26	7.99	93-5930-2158
9324529	PRIMER & SEAL	04/20/26	22.49	93-5930-2158
9324529	CARPET SHIELD	04/20/26	55.98	93-5930-2158
9324529	CANVAS DROP CLOTH	04/20/26	39.98	93-5930-2158
9349283	TARP STRAP	05/05/26	12.56	34-5340-3210
9349283	MARKING SPRAY PAINT	05/05/26	19.78	34-5340-3210
9349283	ELECTRICAL TAPE	05/05/26	6.56	34-5340-3210
9349283	TUBE CUTTER	05/05/26	13.99	34-5340-3210
9349283	LIGHTED CORD	05/05/26	56.69	34-5340-3210
9349283	GLOVES	05/05/26	29.98	34-5340-3210
9349283	GLOVES	05/05/26	13.49	34-5340-3210
9349283	PROPANE CYLINDER	05/05/26	6.74	34-5340-3210
9351069	GLOVES	05/06/26	17.99	10-5302-3220
9351230	SET SCREWS	05/06/26	9.50	33-5600-3210
9359472	BALL VALVE	05/11/26	32.39	10-5351-3210
9362056	ELECTRONIC DEAD BOLT	05/12/26	71.99	10-5100-3210
9362879	WEDGE ANCHORS	05/13/26	72.99	10-5302-2155

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
9364661	SHOVEL	05/14/26	56.69	31-5402-3210
9364906	PVC TEE/SOLVENT WELDFIP	05/14/26	1.61	31-5402-3210
9364906	PVC COUPLING	05/14/26	2.48	31-5402-3210
9365040	ELBOW	05/14/26	1.61	31-5402-3210
9373822	PVC CEMENT	05/19/26	11.24	31-5401-3210
9373822	PVC CEMENT	05/19/26	17.09	31-5401-3210
9373822	CLEANER	05/19/26	19.79	31-5401-3210
9378942	WALL ANCHORS	05/22/26	5.49	31-5401-3210
9383303	ADAPTER	05/26/26	8.98	10-5351-3210
9383303	INSERT	05/26/26	3.86	10-5351-3210
9383303	THREAD SEAL TAPE	05/26/26	1.16	10-5351-3210
9386065	HANDHELD SHOWER	05/27/26	47.69	10-5351-3210
9386065	P TRAP	05/27/26	6.29	10-5351-3210
9386680	1 X 2 PINE	05/27/26	99.87	10-5351-3210
9386680	2 X 12 FIR	05/27/26	28.41	10-5351-3210
9664855	PRIMER & PVC CEMENT KIT	05/14/26	12.14	31-5402-3210
9664855	CLEANER	05/14/26	8.09	31-5402-3210
9664855	ELBOW	05/14/26	1.79	31-5402-3210
9664855	PVC TEE/SOLVENT WELDFIP	05/14/26	1.61	31-5402-3210
9664855	PVC COUPLING	05/14/26	.53	31-5402-3210
9664855	CUT OFF POLY RISER	05/14/26	.98	31-5402-3210
9664855	PVC PIPE	05/14/26	3.15	31-5402-3210
Total BLOEDORN LUMBER - DOUGLAS:			892.97	

BOMGAARS

498767	U BOLTS	04/30/26	5.58	10-5352-3210
498946	T POST	05/01/26	84.20	10-5352-3210
498946	UTILITY FABRIC	05/01/26	239.98	10-5352-3210
499094	WEATHER SEAL	05/01/26	11.99	34-5340-3210
500063	UTILITY KNIFE	05/04/26	8.99	10-5352-3210
500072	FASTENERS	05/04/26	14.36	10-5351-3210
500072	SPRAY PAINT	05/04/26	15.18	10-5351-3210
500785	COUPLING	05/06/26	8.99	32-5501-3210
500785	COUPLING	05/06/26	3.49	32-5501-3210
500785	TOILET PAPER	05/06/26	15.98	32-5501-3210
500785	PAPER TOWELS	05/06/26	63.96	32-5501-3210
501063	WIRE TIE	05/07/26	14.99	10-5352-3210
501063	T POST	05/07/26	23.95	10-5352-3210
501132	LEVEL	05/07/26	16.99	10-5351-3210
501343	DRILL BIT	05/08/26	8.79	31-5403-3210
502651	BARBERRY PLANTS	05/11/26	95.94	10-5351-3210
502651	DOGWOOD PLANTS	05/11/26	119.96	10-5351-3210
502651	PERENNIALS	05/11/26	49.90	10-5351-3210
502714	WATER	05/11/26	19.95	10-5352-3210
502714	BURLAP BAGS	05/11/26	7.96	10-5352-3210
502791	PVC UNION	05/11/26	10.99	32-5501-3210
502791	PIPE UNION	05/11/26	69.98	32-5501-3210
503354	LEAD IN HOSE	05/13/26	39.98	10-5351-3210
503739	BULK BOLTS	05/14/26	.50	34-5340-3210
503739	ADAPTER SET SOCKET	05/14/26	7.99	34-5340-3210
503739	BULK BOLTS	05/14/26	.56	34-5340-3210
503739	EXTENSION CORD	05/14/26	44.99	34-5340-3210
503739	TURN BUCKLE	05/14/26	15.19	34-5340-3210
503739	WIRE ROPE CLIP	05/14/26	3.56	34-5340-3210
503739	CABLE TIES	05/14/26	69.98	34-5340-3210
503837	WEATHRPROOF BOX	05/14/26	34.99	34-5340-3210
505452	TOILET FLAPPER	05/18/26	6.99	10-5352-3210

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
505589	SPRING WATER	05/19/26	15.96	10-5351-3210
505895	TRIMMERS	05/20/26	759.98	10-5302-3220
505895	SAFETY GLASSES	05/20/26	11.99	10-5302-3220
505929	PLUG	05/20/26	8.49	34-5340-3210
505929	WIRE ROPE CLIP	05/20/26	2.76	34-5340-3210
505929	QUICK LINK	05/20/26	1.99	34-5340-3210
505929	STOP NUTS	05/20/26	12.45	34-5340-3210
505929	MACHINE SCREW NUTS	05/20/26	2.49	34-5340-3210
505929	ADAPTER SET SOCKET	05/20/26	10.99	34-5340-3210
505929	MACHINE SCREWS	05/20/26	8.29	34-5340-3210
505929	CHUCK AIR EZ LOCK	05/20/26	9.99	34-5340-3210
505929	COTTER PIN	05/20/26	6.99	34-5340-3210
505930	T POST	05/20/26	12.93	34-5340-3210
506234	HANDY HOOK	05/21/26	6.99	34-5340-3210
506363	PUNCH PIN	05/21/26	6.49	34-5340-3210
506363	LOADED BALL MOUNT	05/21/26	36.99	34-5340-3210
506363	BOLT SNAP	05/21/26	3.29	34-5340-3210
506363	SPRING SNAP	05/21/26	8.98	34-5340-3210
506395	APPLIANCE CORDS	05/21/26	29.98	31-5401-3210
508974	PROPANE TORCH	05/27/26	119.98	10-5305-3210
509401	WATER	05/28/26	7.98	10-5351-3210
Total BOMGAARS:			2,222.81	
BOYS & GIRLS CLUB OF DOUGLAS				
3694	FUNDING AGREEMENT ALLOCATION	05/15/26	2,916.66	10-5110-8746
Total BOYS & GIRLS CLUB OF DOUGLAS:			2,916.66	
CANDO - DBA THE ENTERPRISE				
2164	FUNDING ALLOCATION AGREEMENT	05/14/26	9,166.66	10-5110-8714
Total CANDO - DBA THE ENTERPRISE:			9,166.66	
CAPITAL BUSINESS SYSTEMS INC				
1631720	MAINTENANCE AGREEMENT-PLOTTER	05/18/26	77.62	10-5106-2156
Total CAPITAL BUSINESS SYSTEMS INC:			77.62	
CDW-G				
AJ3LX2D	PRINTER	05/12/26	606.28	10-5103-3220
AJ3LX2D	SCANNER	05/12/26	365.74	10-5103-3220
Total CDW-G:			972.02	
CENTURYLINK				
051426	TELEPHONE SERVICES	05/14/26	66.29	10-5352-2134
051426	TELEPHONE SERVICES	05/14/26	62.81	32-5502-2134
060226	TELEPHONE SERVICES	06/02/26	66.29	10-5352-2134
060226	TELEPHONE SERVICES	06/02/26	65.54	10-5354-2134
060226	TELEPHONE SERVICES	06/02/26	62.81	32-5502-2134
Total CENTURYLINK:			323.74	
CHAFFIN, CLARA				
052726	MILEAGE REIMBURSEMENT	05/27/26	246.50	10-5106-2123

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total CHAFFIN, CLARA:			246.50	
CHALK BUTTES LANDSCAPING INC				
4223	SCHEDULE 40 PVC TEE	05/05/26	15.12	10-5351-3210
4238	NOZZLE	05/26/26	33.75	10-5351-3210
4238	NOZZLE	05/26/26	33.75	10-5351-3210
4238	NOZZLE	05/26/26	36.25	10-5351-3210
4238	PLUG	05/26/26	5.25	10-5351-3210
Total CHALK BUTTES LANDSCAPING INC:			124.12	
CITY OF CASPER				
641634	LANDFILL FEES	05/01/26	1,634.72	34-5340-2158
641634	LANDFILL FEES	05/01/26	1,245.08	34-5340-2158
641705	LANDFILL FEES	05/05/26	1,615.68	34-5340-2158
641705	LANDFILL FEES	05/05/26	1,573.52	34-5340-2158
641759	LANDFILL FEES	05/07/26	1,624.52	34-5340-2158
641759	LANDFILL FEES	05/07/26	1,479.68	34-5340-2158
641783	LANDFILL FEES	05/08/26	1,498.72	34-5340-2158
641851	LANDFILL FEES	05/12/26	1,525.92	34-5340-2158
641851	LANDFILL FEES	05/12/26	1,523.88	34-5340-2158
641851	LANDFILL FEES	05/12/26	1,406.92	34-5340-2158
641914	LANDFILL FEES	05/14/26	1,561.28	34-5340-2158
641914	LANDFILL FEES	05/14/26	1,701.36	34-5340-2158
641914	LANDFILL FEES	05/14/26	1,472.88	34-5340-2158
641943	LANDFILL FEES	05/15/26	1,491.24	34-5340-2158
641990	LANDFILL FEES	05/19/26	1,410.32	34-5340-2158
641990	LANDFILL FEES	05/19/26	1,765.28	34-5340-2158
641990	LANDFILL FEES	05/19/26	1,632.00	34-5340-2158
642011	LANDFILL FEES	05/20/26	1,697.96	34-5340-2158
642060	LANDFILL FEES	05/22/26	1,771.40	34-5340-2158
642060	LANDFILL FEES	05/22/26	1,566.04	34-5340-2158
642134	LANDFILL FEES	05/27/26	1,538.84	34-5340-2158
642134	LANDFILL FEES	05/27/26	1,671.44	34-5340-2158
642134	LANDFILL FEES	05/27/26	1,459.96	34-5340-2158
Total CITY OF CASPER:			35,868.64	
CITY OF DOUGLAS-HLTH INS TRN				
050126	HEALTH INSURANCE TRANSFER	05/01/26	90,756.56	10-10000900
Total CITY OF DOUGLAS-HLTH INS TRN:			90,756.56	
CITY OF DOUGLAS-PETTY CASH				
052926	REPLENISH PETTY CASH-RECORDING FEES	05/29/26	112.00	10-5100-3210
Total CITY OF DOUGLAS-PETTY CASH:			112.00	
CITY OF DOUGLAS-UTILITY PMNT				
051426	WATER/SEWER/SANITATION	05/14/26	161.26	10-5100-2132
051426	WATER/SEWER/SANITATION	05/14/26	471.04	10-5301-2132
051426	WATER/SEWER/SANITATION	05/14/26	1,335.35	10-5351-2132
051426	WATER/SEWER/SANITATION	05/14/26	97.90	10-5352-2132
051426	WATER/SEWER/SANITATION	05/14/26	186.38	10-5354-2132
051426	WATER/SEWER/SANITATION	05/14/26	130.69	31-5401-2132
051426	WATER/SEWER/SANITATION	05/14/26	2,875.05	31-5402-2132
051426	WATER/SEWER/SANITATION	05/14/26	477.36	32-5501-2132

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
051426	WATER/SEWER/SANITATION	05/14/26	28.39	32-5502-2132
18847	LANDFILL CHARGES	05/08/26	118.50	33-5600-2158
18847	LANDFILL CHARGES	05/08/26	87.00	33-5600-2158
18847	LANDFILL CHARGES	05/08/26	66.00	33-5600-2158
18847	LANDFILL CHARGES	05/08/26	33,453.00	33-5600-2158
18861	BULK WATER	05/08/26	15.66	32-5502-3210
18861	BULK WATER	05/08/26	7.00	10-5305-3210
18866	LANDFILL CHARGES	05/22/26	30.00	10-5351-3210
18866	LANDFILL CHARGES	05/22/26	80.00	10-5202-3210
18867	LANDFILL CHARGES	05/22/26	18,319.50	33-5600-2158
18878	LANDFILL CHARGES	05/22/26	18,391.50	33-5600-2158

Total CITY OF DOUGLAS-UTILITY PMNT:

76,331.58

CIVIL ENGINEERING PROFESSIONAL

22-034-34	ENGINEERING-WEST RIVER LIFT STATION	05/27/26	5,518.05	32-5508-2153
22-080-05	ENGINEERING-ANTELOPE CREEK DREDGE	05/28/26	5,935.00	56-5560-2153
22-100-30	ENGINEERING-PLAT & PLAN REVIEW	05/27/26	1,027.50	10-5106-2153
22-100-30	ENGINEERING-WWDC WORKSHOP	05/27/26	810.00	31-5401-2153
23-055-07	ENGINEERING-N 4TH	05/27/26	2,552.50	31-5409-2153
24-044-13	ENGINEERING-N 8TH	05/27/26	573.39	56-5560-2153
24-044-13	ENGINEERING-N 8TH	05/27/26	1,024.65	31-5409-2153
24-044-13	ENGINEERING-N 8TH	05/27/26	471.96	32-5508-2153
24-049-17	ENGINEERING-POOL CONSTRUCTION	04/29/26	4,257.50	55-5550-2153
24-049-18	ENGINEERING-POOL CONSTRUCTION	05/27/26	2,595.00	55-5550-2153
24-059-11	ENGINEERING-N 3RD ST	05/27/26	7,909.29	56-5560-2153
24-059-11	ENGINEERING-N 3RD ST	05/27/26	3,045.41	31-5409-2153
24-060-11	ENGINEERING-S 4TH	05/27/26	5,307.69	56-5560-2153
24-060-11	ENGINEERING-S 4TH	05/27/26	1,991.63	31-5409-2153
24-060-11	ENGINEERING-S 4TH	05/27/26	2,658.83	32-5508-2153
24-166-05	ENGINEERING-CADD TECHNICIAN/DRONE SURVEY	05/24/26	1,252.50	34-5340-2153
25-2000-09	ENGINEERING-WTP WATERLINE REPLACEMENT	05/27/26	540.00	31-5408-2153
25-2002-07	ENGINEERING-S 4TH PINE TO BIRCH	05/27/26	181.00	56-5560-2153
25-2002-07	ENGINEERING-S 4TH PINE TO BIRCH	05/27/26	271.50	31-5409-2153
25-2006-08	ENGINEERING-S 5TH LEAD WATER SERVICE LINE	05/24/26	1,470.00	31-5409-2153
25-2007-04	ENGINEERING-WWTP PROCESS METERS	05/27/26	15,055.00	32-5507-2153
25-2011-05	ENGINEERING-POND LINER REPLACEMENT	04/29/26	1,307.50	65-5650-2153
25-2015-07-1	ENGINEERING-S 2ND & 3RD ST	04/29/26	5,224.93	31-5409-2153
25-2015-07-1	ENGINEERING-S 2ND & 3RD ST	04/29/26	10,960.20	32-5508-2153
25-2015-08	ENGINEERING-S DOWNTOWN UTILITIES	05/27/26	5,797.55	56-5560-2153
25-2015-08	ENGINEERING-S 2ND & 3RD ST	05/27/26	10,360.25	31-5409-2153
25-2015-08	ENGINEERING-S 2ND & 3RD ST	05/27/26	4,771.99	32-5508-2153
25-2016-07	ENGINEERING-CLAY ST	05/27/26	355.25	56-5560-2153
25-2016-07	ENGINEERING-N 8TH	05/27/26	634.84	31-5409-2153
25-2016-07	ENGINEERING-N 8TH	05/27/26	292.41	32-5508-2153
25-2017-06	ENGINEERING-SMW WELL MOTOR	05/27/26	29,931.70	31-5408-2158
25-2019-03	ENGINEERING-HOBBIT HOLE	05/27/26	2,447.80	56-5560-2153
25-2019-03	ENGINEERING-PINE ST	05/27/26	918.50	31-5409-2153
25-2019-03	ENGINEERING-PINE ST	05/27/26	1,226.20	32-5508-2153
25-2020-05	ENGINEERING-112 PROJECT	05/27/26	2,577.85	41-5411-2158

Total CIVIL ENGINEERING PROFESSIONAL:

141,255.37

COMTRONIX

8353563	ACCESS INSTALL-LABOR RETROFIT	05/08/26	1,410.00	10-5100-3210
8353570	ACCESS INSTALL-LABOR RETROFIT	05/08/26	2,118.00	10-5100-3210
8353621	ALARM INSTALL-LABOR	05/08/26	2,822.00	10-5100-3210
8355224	ALARM MONITORING	05/10/26	47.66	10-5100-2156

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total COMTRONIX:			6,397.66	
CONVERSE COUNTY				
052126	JOINT JUSTICE EXPENDITURES	05/21/26	71,188.35	10-5111-8760
Total CONVERSE COUNTY:			71,188.35	
CONVERSE COUNTY CLERK				
2601-CCTS-04	INFORMATION TECHNOLOGY SERVICES	05/14/26	8,333.34	10-5103-2158
Total CONVERSE COUNTY CLERK:			8,333.34	
CONVERSE COUNTY LIBRARY				
2026-01	CHILDRENS ART EDUCATION SPONSORSHIP	05/05/26	150.00	93-5930-2158
Total CONVERSE COUNTY LIBRARY:			150.00	
CONVERSE COUNTY SHERIFF				
042026	BOOKING FEES	04/20/26	67.50	10-5201-2161
Total CONVERSE COUNTY SHERIFF:			67.50	
CORE & MAIN				
Y644888	ANTENNA	05/01/26	2,735.00	31-5407-6547
Y953808	BALL CORP	04/30/26	769.22	31-5402-3210
Total CORE & MAIN:			3,504.22	
COY, DEBRA J				
0527	JANITORIAL SERVICE	05/31/26	2,200.00	10-5100-2158
Total COY, DEBRA J:			2,200.00	
CRIMSON FIRE PROTECTION LLC				
4685	FIRE EXTINGUISHER INSPECTION	05/12/26	2,727.00	10-5100-2158
Total CRIMSON FIRE PROTECTION LLC:			2,727.00	
CROELL REDI MIX				
1075892	CONCRETE: ANNEX	05/30/26	1,577.50	57-5570-6542
Total CROELL REDI MIX:			1,577.50	
DBC IRRIGATION SUPPLY				
S6299889.001	CONTROLLER	04/30/26	462.61	10-5351-3210
S6299889.001	CONTROLLER PEDASAL	04/30/26	519.26	10-5351-3210
S6299889.001	ROTOR 5004	04/30/26	230.17	10-5351-3210
S6367986	ROTORS	05/21/26	999.48	10-5351-3210
S6367986	ROTORS	05/21/26	999.47	10-5352-3210
Total DBC IRRIGATION SUPPLY:			3,210.99	
DOUGLAS FEED LLC				
042726	TREE WATER BAGS	04/27/26	164.62	10-5351-3210
042726	TREE STRAPS	04/27/26	16.78	10-5351-3210
051126	BENTONITE POND SEALER	05/11/26	32.82	10-5351-3210

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total DOUGLAS FEED LLC:			214.22	
DOUGLAS HARDWARE HANK LLC				
377419	PAINT	04/30/26	41.99	10-5352-3210
377419	FLAT BRUSHES	04/30/26	7.59	10-5352-3210
377419	WIRE BRUSH	04/30/26	6.99	10-5352-3210
377419	HOSE CLAMP	04/30/26	2.99	10-5352-3210
377419	CLAMP	04/30/26	2.99	10-5352-3210
377419	TRAY SET	04/30/26	16.99	10-5352-3210
377449	BATTERIES	05/01/26	89.90	10-5100-3210
377504	PACKING TAPE	05/05/26	9.98	10-5301-3210
377545	CAULK GUN	05/08/26	16.99	10-5352-3210
377602	TOILET FILL VALVE	05/11/26	18.99	10-5100-3210
377602	ADJUSTABLE FLAPPER	05/11/26	12.99	10-5100-3210
377605	RETURN: CAULK GUN	05/11/26	16.99	10-5352-3210
377606	MARKING PAINT	05/11/26	19.98	10-5352-3210
377612	PLUG	05/11/26	4.59	31-5401-3210
377670	PIPE JOINT COMP	05/14/26	8.59	32-5501-3210
377696	SUMP PUMP	05/15/26	229.99	32-5501-3210
377696	ELBOW	05/15/26	9.99	32-5501-3210
377696	ELBOW	05/15/26	29.98	32-5501-3210
377725	MIX OIL	05/18/26	17.34	10-5351-3210
377734	FASTENERS	05/19/26	4.65	31-5401-3210
3777454	COMP CONN	05/01/26	1.59	32-5501-3210
377748	PRIMER	05/19/26	16.99	31-5401-3210
377748	CEMENT	05/19/26	13.99	31-5401-3210
377757	CONDUIT	05/20/26	27.96	34-5340-3210
377757	SQUEEZE CONN	05/20/26	7.98	34-5340-3210
377757	COMP COUPLING	05/20/26	4.77	34-5340-3210
377757	STRAP	05/20/26	16.99	34-5340-3210
377758	HARNESSES	05/20/26	69.98	10-5351-3210
377758	NYLON LINE	05/20/26	12.99	10-5351-3210
377765	DUROCUT	05/20/26	39.99	31-5401-3210
377773	TRIM HEAD	05/20/26	26.99	34-5340-3210
377775	RETURN: TRIM HEAD	05/20/26	26.99	34-5340-3210
377775	AUTOCUT HEAD	05/20/26	33.99	34-5340-3210
377788	CORD	05/02/26	12.99	31-5401-3210
377788	POWER CORD	05/02/26	9.99	31-5401-3210
377894	SPONGE	05/27/26	8.99	10-5352-3210
Total DOUGLAS HARDWARE HANK LLC:			815.70	
ENERGY LABORATORIES INC				
738777	WWTP SAMPLES	05/12/26	158.00	32-5501-2158
782494	WASTEWATER SAMPLING	05/06/26	158.00	32-5501-2158
782662	WATER SAMPLING	05/06/26	152.00	31-5401-2158
783746	WWTP SAMPLES	05/01/26	158.00	32-5501-2158
783758	WWTP SAMPLES	05/12/26	158.00	32-5501-2158
784194	WATER SAMPLING	05/13/26	114.00	31-5401-2158
784467	WWTP SAMPLES	05/14/26	158.00	32-5501-2158
785460	WASTEWATER SAMPLING	05/19/26	428.00	32-5501-2158
Total ENERGY LABORATORIES INC:			1,484.00	
FERGUSON ENTERPRISES				
1658071-1	MANUFACTURER SETUP-CHALK BUTTES BOOSTER STATION	05/12/26	2,800.00	31-5405-6544

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total FERGUSON ENTERPRISES:			2,800.00	
FLOYD'S TRUCK CENTER WY				
X302085340:01	AC COMPRESSOR	04/30/26	540.39	33-5600-3210
X302085657:01	AC CHARGE LINE	05/14/26	220.63	33-5600-3210
Total FLOYD'S TRUCK CENTER WY:			761.02	
GALLAGHER, JAMIE				
55573034	BOOT REIMBURSEMENT	05/08/26	100.00	10-5202-3233
Total GALLAGHER, JAMIE:			100.00	
GATHERING INC				
25	FUNDING ALLOCATION AGREEMENT	05/21/26	675.79	10-5110-8730
25	FUNDING ALLOCATION AGREEMENT	05/21/26	2,459.12	10-5110-8730
Total GATHERING INC:			3,134.91	
GH PHIPPS WYOMING LLC				
25JW093-10	DOUGLAS COMMUNITY CENTER	05/31/26	1,261,122.80	57-5571-6542
25JW093-10	RETAINAGE-DOUGLAS COMMUNITY CENTER	05/31/26	63,056.09-	57-20000210
Total GH PHIPPS WYOMING LLC:			1,198,066.71	
GOODYEAR TIRE & RUBBER CO				
177-1058114	AXLE ALIGNMENT	05/19/26	468.00	34-5340-2155
Total GOODYEAR TIRE & RUBBER CO:			468.00	
GRANITE TELECOMMUNICATIONS				
745655605	TELEPHONE SERVICES	05/01/26	220.44	10-5100-2134
745655605	TELEPHONE SERVICES	05/01/26	108.00	10-5301-2134
745655605	TELEPHONE SERVICES	05/01/26	216.00	32-5501-2134
Total GRANITE TELECOMMUNICATIONS:			544.44	
HACH COMPANY				
14983656	MAINTENANCE AGREEMENT	05/01/26	10,388.00	31-5401-2156
14984991	FILTER UNIT	05/01/26	353.00	31-5401-3210
Total HACH COMPANY:			10,741.00	
HAWKINS INC				
7423771	CYLINDERS	05/15/26	160.00	32-5501-3210
7425882	GAS REGULATOR	05/14/26	5,000.00	31-5401-3220
7425882	INJECTOR W/ NOZZLE	05/14/26	944.36	31-5401-3220
7425882	REMOTE METER	05/14/26	480.00	31-5401-3220
7425882	SWITCHOVER	05/14/26	1,050.00	31-5401-3220
7425882	GAS REGULATOR	05/14/26	3,750.00	32-5501-3220
7425882	INJECTOR W/ NOZZLE	05/14/26	472.18	32-5501-3220
7425882	REMOTE METER	05/14/26	480.00	32-5501-3220
7425882	SWITCHOVER	05/14/26	525.00	32-5501-3220
7425882	INJECTOR W/ NOZZLE	05/14/26	472.18	32-5501-3220
7425882	REMOTE METER	05/14/26	480.00	32-5501-3220
7425882	SWITCHOVER	05/14/26	525.00	32-5501-3220
7425882	GAS ALARM	05/14/26	10,740.00	32-5501-3220

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
7425882	GAS ALARM	05/14/26	2,685.00	32-5501-3220
7432224	CHLORINE CYLINDER	05/20/26	1,373.04	32-5501-3210
7432224	SULFUR DIOXIDE CYLINDER	05/20/26	634.29	32-5501-3210
7432224	FREIGHT/FUEL	05/20/26	56.50	32-5501-3210
7433677	CHEMICAL FEED TUBING	05/20/26	290.00	32-5501-3210
Total HAWKINS INC:			30,117.55	
HDR ENGINEERING INC				
1200827746	WATER TREATMENT PLANT PRELIMINARY DESIGN	05/18/26	30,300.06	31-5408-2158
Total HDR ENGINEERING INC:			30,300.06	
HELPING HANDS MINISTRIES INC				
2006-1	FUNDING AGREEMENT ALLOCATION	04/15/26	302.40	10-5110-8755
Total HELPING HANDS MINISTRIES INC:			302.40	
HERITAGE LANDSCAPE SUPPLY CASPER				
26692353-001	PIPE	05/05/26	274.02	31-5401-3210
27030519-001	PIPE	05/19/26	1,782.27	31-5401-3210
Total HERITAGE LANDSCAPE SUPPLY CASPER:			2,056.29	
HOMAX OIL SALES INC				
0744834-IN	FUEL	04/01/26	1,021.17	32-5502-3235
0749160-IN	OIL	04/30/26	1,595.60	10-5302-3237
0749673-IN	DIESEL	05/05/26	1,239.86	34-5340-3235
0751419-IN	DIESEL	05/20/26	3,797.56	34-5340-3235
CL40894	FUEL	04/30/26	398.77	10-5100-3235
CL40894	FUEL	04/30/26	119.98	10-5106-3235
CL40894	FUEL	04/30/26	64.81	10-5201-3235
CL40894	FUEL	04/30/26	3,715.36	10-5202-3235
CL40894	FUEL	04/30/26	333.37	10-5302-3235
CL40894	FUEL	04/30/26	1,237.47	10-5351-3235
CL40894	FUEL	04/30/26	1,456.68	10-5305-3235
CL40894	FUEL	04/30/26	360.53	10-5352-3235
CL40894	FUEL	04/30/26	118.71	31-5401-3235
CL40894	FUEL	04/30/26	680.04	31-5402-3235
CL40894	FUEL	04/30/26	87.67	31-5403-3235
CL40894	FUEL	04/30/26	118.69	32-5501-3235
CL40894	FUEL	04/30/26	680.02	32-5502-3235
CL40894	FUEL	04/30/26	2,692.40	33-5600-3235
CL40894	FUEL	04/30/26	393.12	34-5340-3235
CL40894	FUEL	04/30/26	126.10	10-5301-3235
Total HOMAX OIL SALES INC:			20,237.91	
INBERG MILLER ENGINEERS				
18411CW28	ENVIRONMENTAL MONITORING	05/06/26	6,706.56	34-5340-2153
Total INBERG MILLER ENGINEERS:			6,706.56	
INTERNAL REVENUE SERVICE				
050126	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/01/26	18,471.35	10-20000222
050126	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/01/26	25,254.09	10-20000223
050126	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/01/26	5,906.20	10-20000223
051526	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/15/26	18,194.40	10-20000222

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
051526	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/15/26	25,549.83	10-20000223
051526	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/15/26	5,741.49	10-20000223
051926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/19/26	6,648.59	10-20000222
051926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/19/26	3,360.19	10-20000223
051926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/19/26	785.85	10-20000223
052926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/29/26	18,613.16	10-20000222
052926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/29/26	25,064.84	10-20000223
052926	PAYROLL DEDUCTION-941 TAX DEPOSIT	05/29/26	5,861.94	10-20000223
Total INTERNAL REVENUE SERVICE:			159,451.93	
INTOXIMETERS INC				
815523	INTOXIMETER REPAIR	05/15/26	291.25	10-5202-2155
Total INTOXIMETERS INC:			291.25	
JERRYS WELDING SERVICE				
36068	PIPE & METAL	04/02/26	742.93	10-5351-3210
36068	PIPE & METAL	04/02/26	119.11	10-5305-3210
Total JERRYS WELDING SERVICE:			862.04	
JOHNSON, KAYE				
113-1456154	CLOROX TOILET WAND & HOLDERS	05/08/26	22.73	10-5301-3210
Total JOHNSON, KAYE:			22.73	
LARAMIE PEAK HUMANE SOCIETY				
2026.10-MAY	FUNDING ALLOCATION AGREEMENT	05/27/26	9,166.67	10-5110-8734
Total LARAMIE PEAK HUMANE SOCIETY:			9,166.67	
LARAMIE RANGE WATER TREATMENT & PLUMBING				
LW1172611	WATER	04/27/26	35.00	34-5340-3210
LW326002	WATER	03/16/26	19.00	34-5340-3210
LW332606	WATER	02/02/26	11.00	34-5340-3210
LW602608	WATER	03/02/26	27.00	34-5340-3210
Total LARAMIE RANGE WATER TREATMENT & PLUMBING:			92.00	
LEXISNEXIS RISK DATA MANAGMENT INC				
1100295955	ACCURINT INFORMATION SERVICES	04/30/26	115.93	10-5202-2156
1100295955-APR	ACCURINT INFORMATION SERVICES	04/30/26	115.93	10-5202-2156
Total LEXISNEXIS RISK DATA MANAGMENT INC:			231.86	
LITZSINGER, DEVON				
052726	MILEAGE REIMBURSEMENT	05/27/26	84.68	10-5109-2123
Total LITZSINGER, DEVON:			84.68	
LOENBRO				
428705-33	HOUR METER REPAIR	05/06/26	300.00	31-5402-2155
429031-33	MOTOR CONTROLLER REPLACEMENT	05/20/26	28,448.73	31-5408-6544
Total LOENBRO:			28,748.73	

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
MAIN STREET DOUGLAS				
1038	FUNDING ALLOCATION AGREEMENT	05/28/26	2,871.27	10-5110-8748
1038	FUNDING ALLOCATION AGREEMENT	05/28/26	1,200.83	10-5110-8748
Total MAIN STREET DOUGLAS:			4,072.10	
MANAGE ENGINE / ZOHO CORPORATION				
042426	MOBILE DEVICE MANAGER	04/24/26	1,195.00	10-5103-2158
Total MANAGE ENGINE / ZOHO CORPORATION:			1,195.00	
MASA				
050126	PAYROLL DEDUCTION	05/01/26	361.00	10-20000225
Total MASA:			361.00	
MEMORIAL HOSPITAL OF CONV CO				
050426	CHARCUTERIES	05/04/26	150.00	93-5930-2158
Total MEMORIAL HOSPITAL OF CONV CO:			150.00	
MERITAIN HEALTH				
052226	HEALTH INSURANCE PREMIUM	05/22/26	68,076.90	39-5390-1023
052226	HEALTH INSURANCE PREMIUM	05/22/26	7,050.78	39-5390-1058
Total MERITAIN HEALTH:			75,127.68	
METLIFE				
050126	PAYROLL DEDUCTION	05/01/26	1,123.60	39-5390-1023
Total METLIFE:			1,123.60	
MISSION SQUARE RETIREMENT				
050126	Payroll Deduction	05/01/26	8,174.91	10-20000224
051526	Payroll Deduction	05/15/26	8,203.38	10-20000224
052926	Payroll Deduction	05/29/26	8,377.41	10-20000224
Total MISSION SQUARE RETIREMENT:			24,755.70	
MODERN ELECTRIC				
25-2017-1	WWTP AIR HEADER	05/26/26	271,930.00	31-5408-2158
25-2017-1	WWTP AIR HEADER	05/26/26	13,596.50	31-20000210
Total MODERN ELECTRIC:			258,333.50	
MOUNTAIN PEAK BUILDERS LLC				
052826	RETAINAGE RELEASE-WASHINGTON PARK SHELTER	05/28/26	9,210.56	65-20000210
Total MOUNTAIN PEAK BUILDERS LLC:			9,210.56	
MOUNTAIN STATES LITHOGRAPHING				
260465	IMPOUND LABELS	04/28/26	286.49	10-5201-3210
260466	RED CARD REMINDERS	04/14/26	107.64	10-5201-3210
Total MOUNTAIN STATES LITHOGRAPHING:			394.13	
NEW YORK LIFE				
050126	PAYROLL DEDUCTION	05/01/26	441.63	39-5390-1023

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total NEW YORK LIFE:			441.63	
NORCO INC				
0046758821	TOILET PAPER	05/13/26	110.50	10-5301-3210
0046779936	TRASH BAGS	05/15/26	47.52	10-5301-3210
0046780090	KLEENEX	05/15/26	86.97	10-5301-3210
46822649	SAFETY GLASSES	05/20/26	90.96	32-5502-3210
46822649	GLOVES	05/20/26	84.32	32-5502-3210
46840883	BATH TISSUE	05/22/26	184.00	10-5351-3210
46840883	URINAL SCREEN	05/22/26	11.72	10-5351-3210
46840883	BOWL CLEANER	05/22/26	103.60	10-5351-3210
46840883	HAND CLEANER	05/22/26	65.40	10-5351-3210
46840883	TRASH BAGS	05/22/26	106.56	10-5351-3210
46840883	TRASH BAGS	05/22/26	74.00	10-5351-3210
46840883	GLOVES	05/22/26	75.40	10-5351-3210
46840883	GLOVES	05/22/26	75.40	10-5351-3210
46840883	DELIVERY	05/22/26	19.50	10-5351-3210
Total NORCO INC:			1,135.85	
NV5 INC				
514676	PROJECT MANAGER-COMMUNITY FACILITY	05/04/26	10,425.25	57-5571-2153
Total NV5 INC:			10,425.25	
ONE CALL OF WYOMING				
79539	LOCATES	05/22/26	16.80	10-5351-2120
Total ONE CALL OF WYOMING:			16.80	
O'REILLY AUTOMOTIVE INC				
370072	GREASE TUBE	05/08/26	14.99	10-5351-3210
370072	GREASE GUN	05/08/26	38.99	10-5351-3210
370695	FUEL PUMP	05/13/26	73.99	10-5351-3210
370807	BRACKETED CALIPER	05/14/26	68.62	10-5305-3210
370807	CORE CHARGE	05/14/26	55.00	10-5305-3210
370812	CORE CHARGE RETURN	05/14/26	55.00-	10-5305-3210
370813	BATTERY	05/14/26	146.21	10-5351-3210
370813	CORE CHARGE	05/14/26	22.00	10-5351-3210
370851	WIRE	05/14/26	14.20	34-5340-3210
370851	WIRE	05/14/26	10.20	34-5340-3210
370851	SILICONE	05/14/26	11.24	34-5340-3210
370851	CARB CLEANER	05/14/26	39.48	34-5340-3210
370962	CORE RETURN	05/15/26	22.00-	10-5351-3210
370962	RETURN: FUEL PUMP	05/15/26	73.99-	10-5351-3210
370962	RETURN: GREASE GUN	05/15/26	38.99-	10-5351-3210
370991	SEAT COVERS	05/15/26	84.99	10-5301-3210
371688	CARB CLEANER	05/20/26	13.98	10-5305-3210
371862	FAN BELT	05/21/26	47.59	33-5600-3210
372656	FAN BELT	05/27/26	47.59	33-5600-3210
372692	SCRAPER	05/27/26	3.19	10-5302-3220
Total O'REILLY AUTOMOTIVE INC:			502.28	
Parkson Corp				
052626	PRETREATMENT SKID DEPOSIT	05/26/26	5,000.00	31-5408-2158

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total Parkson Corp:			5,000.00	
PARTSONE LLC				
77058	GLAD HAND RECEPTICLES	05/01/26	36.32	10-5305-3210
77058	TAIL GATE PINS	05/01/26	7.96	10-5305-3210
77416	CONNECTOR	05/07/26	6.25	34-5340-3210
77416	COUPLING	05/07/26	9.92	34-5340-3210
77416	P LOCK	05/07/26	4.96	34-5340-3210
77444	HOLDER MOUNT	05/08/26	46.72	34-5340-3210
77444	POGO STICK	05/08/26	60.95	34-5340-3210
77653	ANTIFREEZE	05/12/26	549.99	10-5302-3237
77668	AC REFRIGERANT	05/12/26	299.00	10-5302-3237
78369	AC PRESS SENSOR	05/21/26	15.64	33-5600-3210
78388	SOCKET SET	05/21/26	224.99	10-5302-3220
78575	IMPACT SOCKET	05/26/26	45.99	34-5340-3210
78575	SURFACE PREP PAD	05/26/26	11.99	34-5340-3210
Total PARTSONE LLC:			1,320.68	
PEASLEY & ARMSTRONG LLP				
2460	LEGAL SERVICES	05/12/26	4,890.00	10-5100-2151
2460	LEGAL SERVICES	05/12/26	40.00	10-5105-2151
Total PEASLEY & ARMSTRONG LLP:			4,930.00	
PLATTE COUNTY LOCKSMITH SERVICES				
053026	REKEY PUBLIC WORKS	05/30/26	9,349.00	10-5305-2158
Total PLATTE COUNTY LOCKSMITH SERVICES:			9,349.00	
POWDER RIVER CONSTRUCTION INC				
24-049-12	POOL RENOVATION	05/26/26	402,824.64	55-5550-6544
24-049-12	RETAINAGE-POOL RENOVATION	05/26/26	20,141.23-	55-20000210
Total POWDER RIVER CONSTRUCTION INC:			382,683.41	
POWER SCREENING				
RSA011494-1	WHEELED GULL WING	04/15/26	5,818.29	65-5650-2158
RSA014407-1	DRUM SCREENS	04/02/26	26,875.29	34-5340-2158
RSA014407-1	DRUM SCREENS	04/02/26	3,124.71	65-5650-2158
RSA014407-1	DRUM SCREENS	04/02/26	1,610.00	65-5650-2158
Total POWER SCREENING:			37,428.29	
RADDCO LLC				
129251	DIA CUTTERS	04/29/26	19.79	10-5305-3220
129408	FITTINGS	05/01/26	4.64	34-5340-3210
129658	BATTERY CORE RETURN	05/06/26	22.00-	10-5305-3210
129768	BATTERY	05/08/26	54.21	10-5351-3210
129777	DIESEL EXHAUST FILTER	05/08/26	36.04	10-5302-3210
129808	POWER CORD	05/08/26	102.52	34-5340-3210
129811	COILED AIR LINES	05/08/26	195.78	34-5340-3210
129832	FUEL FILTER	05/08/26	17.12	10-5302-3210
129843	DRAIN PLUG	05/08/26	6.51	10-5100-3210
129844	ROTORS	05/08/26	190.92	10-5100-3210
129844	BREAK PADS	05/08/26	44.99	10-5100-3210
129958	GREASE GUN	05/11/26	36.07	10-5351-3210

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
129998	COUPLING	05/12/26	6.01	34-5340-3210
130153	FUEL FILTER	05/14/26	6.62	10-5302-3210
130157	AIR FILTER	05/14/26	11.71	10-5302-3210
130282	CABIN FILTER	05/15/26	22.80	10-5302-3210
130492	TOGGLE BOOT	05/20/26	5.97	34-5340-3210
130492	SWITCH TOGGLE	05/20/26	13.77	34-5340-3210
130644	FAN BELT	05/21/26	43.17	33-5600-3210
130852	GLASS CLEANER	05/27/26	41.94	10-5302-3237
130891	RAGS	05/27/26	20.00	10-5305-3210
130918	WIPER BLADES	05/28/26	29.97	10-5351-3210
Total RADDCO LLC:			888.55	
RAMSHORN CONSTRUCTION INC				
052726	N. 3RD ST IMPROVEMENT PROJECT	05/27/26	110,816.45	56-5560-6544
052726	N. 3RD ST IMPROVEMENT PROJECT	05/27/26	5,540.82	56-20000210
052726	N. 3RD ST IMPROVEMENT PROJECT	05/27/26	84,497.55	31-5409-6544
052726	N. 3RD ST IMPROVEMENT PROJECT	05/27/26	4,224.88	31-20000210
052726-1	S 4TH ST PROJECT	05/27/26	85,619.43	31-5409-6544
052726-1	S 4TH ST PROJECT	05/27/26	4,280.97	32-20000210
052726-1	S 4TH ST PROJECT	05/27/26	10,152.50	32-5508-6544
052726-1	S 4TH ST PROJECT	05/27/26	507.63	32-20000210
052726-1	S 4TH ST PROJECT	05/27/26	169,614.06	56-5560-6544
052726-1	S 4TH ST PROJECT	05/27/26	8,480.70	56-20000210
Total RAMSHORN CONSTRUCTION INC:			437,664.99	
RECREONICS INC				
26821289-001	SLIDE FLOW METERS	05/19/26	971.98	10-5354-3210
26821289-001	SHIPPING	05/19/26	75.00	10-5354-3210
Total RECREONICS INC:			1,046.98	
ROCKY MOUNTAIN POWER				
051526	ELECTRICITY SERVICES	05/15/26	8,876.56	10-5100-2131
051526	ELECTRICITY SERVICES	05/15/26	92.64	10-5201-2131
051526	ELECTRICITY SERVICES	05/15/26	224.70	10-5301-2131
051526	ELECTRICITY SERVICES	05/15/26	1,693.99	10-5351-2131
051526	ELECTRICITY SERVICES	05/15/26	155.69	10-5352-2131
051526	ELECTRICITY SERVICES	05/15/26	245.71	10-5354-2131
051526	ELECTRICITY SERVICES	05/15/26	1,551.94	31-5401-2131
051526	ELECTRICITY SERVICES	05/15/26	1,311.81	31-5402-2131
051526	ELECTRICITY SERVICES	05/15/26	5,008.36	32-5501-2131
051526	ELECTRICITY SERVICES	05/15/26	1,138.31	32-5502-2131
051526	ELECTRICITY SERVICES	05/15/26	953.95	34-5340-2131
051526-1	ELECTRICITY SERVICES	05/15/26	775.98	10-5353-2131
051826	ELECTRICITY SERVICES	05/18/26	390.34	10-5301-2131
060226	ELECTRICITY SERVICES	06/02/26	462.95	10-5353-2131
Total ROCKY MOUNTAIN POWER:			22,882.93	
SAFEWAY STORES				
041426	VEGGIE & FRUIT TRAYS	04/14/26	34.63	10-5201-3210
041626	VEGGIE & FRUIT TRAYS	04/16/26	24.38	10-5201-3210
729917	FRUIT TRAY	05/04/26	49.99	10-5100-3230
729917	BOWLS	05/04/26	4.19	10-5100-3220

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total SAFEWAY STORES:			113.19	
SAVING GRACE FOOD PANTRY				
002	FUNDING ALLOCATION AGREEMENT	05/22/26	192.60	10-5110-8766
002	FUNDING ALLOCATION AGREEMENT	05/22/26	1,233.33	10-5110-8766
002	FUNDING ALLOCATION AGREEMENT	05/22/26	1,233.33	10-5110-8766
Total SAVING GRACE FOOD PANTRY:			2,659.26	
SHEPARD CONSTRUCTION				
052826	REFUND BUILDING PERMIT FEE	05/28/26	1,368.50	10-5106-2175
Total SHEPARD CONSTRUCTION:			1,368.50	
SHIRTS & MORE				
052626	WIND PHONE WRAP ON BOOTH	05/26/26	175.00	93-5930-2158
Total SHIRTS & MORE:			175.00	
STEINER THUESEN PLLC				
043026	ARCHITECT FEES - PARKS PROJECTS	04/30/26	1,321.25	65-5650-2153
043026-1	IRRIGATION AUDIT SERVICES: DCC	04/30/26	13,330.55	65-5650-2158
Total STEINER THUESEN PLLC:			14,651.80	
SULLIVAN, TIM				
481511	BOOT REIMBURSEMENT	04/24/26	200.00	31-5401-3210
Total SULLIVAN, TIM:			200.00	
TEXAS PNEUDRAULIC INC				
047820	GRABBER PUCKS	05/14/26	125.00	33-5600-3210
047820	ROLLER END	05/14/26	45.00	33-5600-3210
047820	FREIGHT	05/14/26	34.40	33-5600-3210
Total TEXAS PNEUDRAULIC INC:			204.40	
TJ INDUSTRIES				
150300	FLAT REPAIR	05/08/26	95.00	34-5340-3210
150300	O RING	05/08/26	9.99	34-5340-3210
150325	STEEL WHEEL	05/11/26	189.05	34-5340-3210
150395	TIRES	05/14/26	400.00	10-5351-3210
Total TJ INDUSTRIES:			694.04	
TOMLINSON, ANTHONY				
10958858	LICENSE FEE	05/07/26	46.08	31-5402-3210
Total TOMLINSON, ANTHONY:			46.08	
TOP OFFICE PRODUCTS				
206169	COPIER MAINTENANCE AGREEMENT	04/28/26	62.09	10-5301-2156
206169	COPIER MAINTENANCE AGREEMENT	04/28/26	40.42	10-5106-2156
206169	COPIER MAINTENANCE AGREEMENT	04/28/26	159.00	10-5100-2156
Total TOP OFFICE PRODUCTS:			261.51	

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
ULTRESSA LLC				
ULT1023	50% RENTAL FEE-CERAMIE MEMBRANE FILTER	05/06/26	24,350.00	31-5408-2158
Total ULTRESSA LLC:			24,350.00	
UNITY CHRISTIAN FELLOWSHIP				
051826	REFUND PLAN REVIEW & BUILDING PERMIT FEE	05/18/26	961.85	10-5106-2175
Total UNITY CHRISTIAN FELLOWSHIP:			961.85	
UPPER CASE PRINTING INC				
4342	UTILITY BILL CARD STOCK	05/05/26	1,296.00	31-5403-3210
4342	UTILITY BILL CARD STOCK	05/05/26	837.00	32-5502-3210
4342	UTILITY BILL CARD STOCK	05/05/26	567.00	33-5600-3210
Total UPPER CASE PRINTING INC:			2,700.00	
US POST OFFICE				
052226	BOX RENT	05/22/26	626.00	10-5100-2101
Total US POST OFFICE:			626.00	
USA BLUEBOOK				
INV01043561	JAR TESTER	05/11/26	4,910.00	31-5408-2158
INV01043561	SHIPPING	05/11/26	254.69	31-5408-2158
INV01043675	CAL SOL KIT	03/11/26	803.58	31-5408-2158
INV01043675	TUBING	03/11/26	12.99	31-5408-2158
INV01043675	SHIPPING	03/11/26	26.34	31-5408-2158
INV01043826	TURBIDOMETERS	05/11/26	8,069.26	31-5408-6544
INV01043826	SHIPPING	05/11/26	131.66	31-5408-6544
Total USA BLUEBOOK:			14,208.52	
VERIZON WIRELESS				
051426	CELLULAR SERVICE	05/14/26	179.94	10-5106-2134
051426	CELLULAR SERVICE	05/14/26	40.01	10-5201-2134
051426	CELLULAR SERVICE	05/14/26	1,633.40	10-5202-2134
051426	CELLULAR SERVICE	05/14/26	40.04	10-5352-2134
051426	CELLULAR SERVICE	05/14/26	46.71	31-5402-2134
051426	CELLULAR SERVICE	05/14/26	63.37	32-5502-2134
051426	CELLULAR SERVICE	05/14/26	56.45	10-5102-2134
051426	CELLULAR SERVICE	05/14/26	16.68	31-5401-2134
051426	CELLULAR SERVICE	05/14/26	40.04	10-5305-2134
051426	CELLULAR SERVICE	05/14/26	20.02	33-5600-2134
060226	CELLULAR SERVICE	06/02/26	179.96	10-5106-2134
060226	CELLULAR SERVICE	06/02/26	40.01	10-5201-2134
060226	CELLULAR SERVICE	06/02/26	1,634.39	10-5202-2134
060226	CELLULAR SERVICE	06/02/26	52.69	31-5401-2134
060226	CELLULAR SERVICE	06/02/26	52.69	32-5501-2134
Total VERIZON WIRELESS:			4,096.40	
VINTAGE RAILS RESTORATION				
052826	WINDOW REPAIRS	05/28/26	1,360.00	54-5540-2155
Total VINTAGE RAILS RESTORATION:			1,360.00	

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
VISA-CONVERSE COUNTY BANK				
000046	GIFT CARDS	05/19/26	30.00	10-5201-3210
016860	MEAL-IIMC CONFERENCE	05/16/26	8.88	10-5109-2123
016860	MEAL-IIMC CONFERENCE	05/16/26	4.54	10-5109-2123
016860	MEAL-IIMC CONFERENCE	05/16/26	1.07	10-5109-2123
017751	MEAL-IIMC CONFERENCE	05/19/26	31.00	10-5109-2123
017751	MEAL-IIMC CONFERENCE	05/19/26	5.25	10-5109-2123
017751	MEAL-IIMC CONFERENCE	05/19/26	3.00	10-5109-2123
017751	MEAL-IIMC CONFERENCE	05/19/26	7.98	10-5109-2123
018395	MEAL-IIMC CONFERENCE	05/18/26	23.95	10-5109-2123
018395	MEAL-IIMC CONFERENCE	05/18/26	1.98	10-5109-2123
018395	MEAL-IIMC CONFERENCE	05/18/26	5.70	10-5109-2123
019515	MEAL-IIMC CONFERENCE	05/19/26	5.25	10-5109-2123
019515	MEAL-IIMC CONFERENCE	05/19/26	31.00	10-5109-2123
019515	MEAL-IIMC CONFERENCE	05/19/26	3.00	10-5109-2123
019515	MEAL-IIMC CONFERENCE	05/19/26	7.98	10-5109-2123
020724	MEAL-IIMC CONFERENCE	05/20/26	15.95	10-5109-2123
020724	MEAL-IIMC CONFERENCE	05/20/26	1.32	10-5109-2123
020724	MEAL-IIMC CONFERENCE	05/20/26	3.45	10-5109-2123
020773	MEAL-IIMC CONFERENCE	05/20/26	10.19	10-5109-2123
020773	MEAL-IIMC CONFERENCE	05/20/26	.84	10-5109-2123
022187	MEAL-IIMC CONFERENCE	05/22/26	10.69	10-5109-2123
022187	MEAL-IIMC CONFERENCE	05/22/26	.61	10-5109-2123
022187	MEAL-IIMC CONFERENCE	05/22/26	.90	10-5109-2123
030180	LODGING	04/30/26	129.95	10-5351-2123
0420206	AED & ACCESSORIES	04/20/26	1,050.70	10-5100-3220
0429261	POLOS	04/29/26	937.13	10-5202-3233
042926PLN	BIB APRON	04/29/26	92.61	93-5930-2158
042926PLN	NINJA TRANSFERS	04/29/26	21.89	93-5930-2158
042926PLN	NINJA TRANSFERS	04/29/26	10.64	93-5930-2158
042926PLN	NINJA TRANSFERS	04/29/26	39.96	93-5930-2158
042926PLN	SHIPPING/TAX	04/29/26	18.88	93-5930-2158
042926PLN	SHIPPING/TAX	04/29/26	8.27	93-5930-2158
04879-5265535	BUSINESS CARDS	05/12/26	89.25	10-5106-3210
050126	AED PADS	05/01/26	77.00	10-5100-3220
050426	FUEL	05/04/26	69.14	10-5101-2123
051426	AED & ACCESSORIES	05/14/26	1,793.40	10-5100-3220
052026	MEALS	05/20/26	64.29	10-5202-2123
0520261	LODGING	05/20/26	476.00	10-5202-2123
0520261	MEALS	05/20/26	15.93	10-5202-2123
0520261	MEALS	05/20/26	77.72	10-5202-2123
0520261	MEALS	05/20/26	21.25	10-5202-2123
0520261	MEALS	05/20/26	18.38	10-5202-2123
0520262	MEALS	05/20/26	6.35	10-5105-2123
0520262	MEALS	05/20/26	18.99	10-5105-2123
0520262	FUEL	05/20/26	50.14	10-5105-2123
0520262	LODGING	05/20/26	204.00	10-5105-2123
052226	UBER-IIMC CONFERENCE	05/22/26	30.09	10-5109-2123
052726	LODGING	05/27/26	123.20	10-5106-2123
052726	LODGING	05/27/26	110.00	10-5106-2123
052726	MEAL	05/27/26	54.30	10-5106-2123
052826	BINDER CHAINS	05/28/26	79.58	10-5302-3220
052826	IMAGING CAMERA	05/28/26	393.40	10-5302-3220
052826	VEHICLE CAR HOLDER	05/28/26	9.99	10-5302-3220
052826	LOAD BINDERS	05/28/26	202.99	10-5302-3220
052826	BLACK POWDER COAT	05/28/26	31.72	10-5302-3220
052826	ORANGE POWDER COAT	05/28/26	32.78	10-5302-3220
052826	POWDER COAT OVEN	05/28/26	143.99	10-5302-3220

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
052826	POWDER COAT GUN	05/28/26	114.99	10-5302-3220
052826	FREIGHT	05/28/26	6.99	10-5302-3220
0528261	T SHIRTS	05/28/26	10.00	10-5100-3210
102003318251299	CAMERA	05/08/26	899.99	10-5109-3220
10419376503	DISPOSABLE TOILET BRUSH SET	05/06/26	56.64	10-5301-3210
10419376503	CLOROX TABLET CLEANERS	05/06/26	13.78	10-5301-3210
10419376503	TAX	05/06/26	3.52	10-5301-3210
10997	NAME PLATE	05/05/26	20.00	10-5100-3210
111-5640208	PORTABLE CHARGER CASE	05/07/26	21.99	10-5109-3220
111-5640208	MICROPHONE HANDLES	05/07/26	29.98	10-5109-3220
111-5640208	CHARGER BLOCKS	05/07/26	7.99	10-5109-3220
111-5640208	COUPON	05/07/26	1.20	10-5109-3220
111-7877366	BIB APRON	04/29/26	25.99	93-5930-2158
111-7877366	KIDS APRON	04/29/26	25.99	93-5930-2158
112-2932857	FUEL PUMP KIT	05/13/26	55.96	10-5351-3210
133772133	CLAMP	04/14/26	15.56	33-5600-3210
133772133	CLAMP	04/14/26	24.36	33-5600-3210
133772133	FENDER POST MOUNT	04/14/26	50.18	34-5340-3210
1601	FUEL	05/01/26	56.21	10-5351-2123
2153043	UTILITY SCOOP	05/03/26	16.14	34-5340-3210
2153043	NO PARKING SIGN	05/03/26	66.50	34-5340-3210
2153043	FUEL TRANSFER HOSE	05/03/26	81.29	34-5340-3210
24431920	TRIMBLE SOFTWARE	05/09/26	418.95	10-5305-3210
2579-3571	REGISTRATION	05/07/26	298.00	10-5202-2122
2691437	BANNERS: 250 CELEBRATION	05/15/26	79.92	10-5100-3210
2691437	EAGLE WREATHS: 250 CELEBRATION	05/15/26	80.97	10-5100-3210
2691437	SHIPPING	05/15/26	6.99	10-5100-3210
2959	PARKING-IIMC CONFERENCE	05/22/26	49.00	10-5109-2123
2962646	MOURNING BAND	05/11/26	20.99	10-5202-3210
2962646	DB-R DISCS	05/11/26	46.99	10-5202-3210
32700	ADVERTIESMENT	04/24/26	645.00	10-5100-2115
46051526	MEAL: CAMP POSTCARD	05/15/26	120.75	10-5201-3210
4639	MEAL	05/04/26	64.64	10-5100-3230
6751	POSTER BOARD	05/06/26	6.25	10-5109-3210
6751	SHARPIE-KING SIZE	05/06/26	3.00	10-5109-3210
6751	ARM FLOATS	05/06/26	1.75	10-5109-3210
6751	SNORKEL SET	05/06/26	7.00	10-5109-3210
6751	SWIM RING	05/06/26	5.00	10-5109-3210
73658154762	COREL SUBSCRIPTION	05/13/26	282.45	10-5305-3210
740104	AD REPOSTING	05/12/26	50.00	10-5100-2115
909	MEAL-IIMC CONFERENCE	05/16/26	35.57	10-5109-2123
9262652	CURTAIN WINDOW LIGHTS	05/15/26	25.99	93-5930-2158
9262652	250TH ANNIVERSARY BANNER	05/15/26	11.99	93-5930-2158
9262652	HANGING AMERICAN FLAGS	05/15/26	14.99	93-5930-2158
9262652	AMERICAN FLAG WINDSOCK	05/15/26	35.78	93-5930-2158
9262652	WINDOW STRING LIGHTS	05/15/26	18.04	93-5930-2158
9262652	SHIPPING	05/15/26	5.20	93-5930-2158
968980	WATER COURSE	05/13/26	258.00	31-5402-2122
Total VISA-CONVERSE COUNTY BANK:			10,914.50	
VISIONARY COMMUNICATIONS INC				
1731293	PHONE SERVICE	05/01/26	814.98	10-5100-2134
1746491	PHONE SERVICE	05/01/26	176.62	10-5103-2158
Total VISIONARY COMMUNICATIONS INC:			991.60	

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
WASTE OIL FURNACES				
3271	FURNACE CLEANING	05/27/26	275.00	34-5340-2156
3271	FURNACE CLEANING-MILEAGE	05/27/26	60.00	34-5340-2156
Total WASTE OIL FURNACES:			335.00	
WESTERN MUNICIPAL CONSTRUCTION OF WYO				
052826	MIDDLE SCHOOL LIFT STATION	05/28/26	122,332.00	32-5508-6544
052826	MIDDLE SCHOOL LIFT STATION	05/28/26	6,116.60	32-20000210
Total WESTERN MUNICIPAL CONSTRUCTION OF WYO:			116,215.40	
WESTERN SKIES TECHNOLOGY				
25094	VEHICLE TECH REPAIRS	04/29/26	1,000.00	10-5202-2155
Total WESTERN SKIES TECHNOLOGY:			1,000.00	
WHEATLAND GARAGE DOOR LLC				
5700	REPLACE DOOR SPRINGS	05/14/26	4,410.90	34-5340-2155
Total WHEATLAND GARAGE DOOR LLC:			4,410.90	
WILDWOOD TREE SERVICE LLC				
051226	TREE MITIGATION	05/12/26	32,000.00	65-5650-2158
051326	TREE TRIMMING & REMOVAL	05/13/26	7,200.00	10-5352-2158
Total WILDWOOD TREE SERVICE LLC:			39,200.00	
WW GRAINGER				
9891594138	ROCKER SWITCH	04/23/26	13.04	10-5302-3220
9893252875	COVERALLS	04/24/26	90.42	10-5352-3210
9898763272	SHOWER REPAIR KITS	04/29/26	681.40	10-5354-3210
9899021696	HYDRAULIC CYLINDER	04/29/26	376.63	34-5340-3210
9913613890	OTC SUBSCRIPTION UPDATE	05/12/26	1,079.71	10-5302-2120
9914272282	FIRE HOSE	05/13/26	496.17	34-5340-3210
9914272282	HOSE REEL	05/13/26	970.18	34-5340-3210
9914272282	FIRE HOZE NOZZLE	05/13/26	32.25	34-5340-3210
9914272282	FIRE HOSE ADAPTER	05/13/26	12.77	34-5340-3210
9914272282	FIRE HOSE ADAPTER	05/13/26	14.37	34-5340-3210
9914272282	SHIPPING	05/13/26	30.00	34-5340-3210
9916198220	NYLON LABEL	05/14/26	80.88	31-5401-3210
9916894851	LADDER STEP	05/14/26	148.70	34-5340-3210
9920433308	FLAGS	05/18/26	239.40	10-5351-3210
9920433308	FLAGS	05/18/26	233.95	10-5351-3210
9920433308	LED LIGHT	05/18/26	315.45	10-5351-3210
9920433308	HEATER	05/18/26	167.80	10-5351-3210
9922033916	AIR FILTER	05/19/26	82.20	31-5401-3210
9922033916	ADAPTER FITTING	05/19/26	9.24	31-5401-3210
9922033916	BALL VALVE	05/19/26	55.68	31-5401-3210
9922033916	TEE FITTING	05/19/26	16.60	31-5401-3210
9922033916	FITTING	05/19/26	53.22	31-5401-3210
9922033916	FITTING	05/19/26	13.20	31-5401-3210
9922033916	PIPE THREAD SEALANT	05/19/26	109.44	31-5401-3210
9922533550	ICE MACHINE FILTER	05/19/26	215.27	10-5354-3210
9922533550	FIRST AID KIT	05/19/26	109.15	10-5351-3210
Total WW GRAINGER:			5,647.12	

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
WY ASSOC OF MUNICIPALITIES				
18701	REGISTRATION- WAM CONFERENCE	05/18/26	165.00	10-5101-2122
18702	REGISTRATION- WAM CONFERENCE	05/18/26	270.00	10-5101-2122
Total WY ASSOC OF MUNICIPALITIES:			435.00	
WY CHILD & FAMILY DEV INC				
0426	FUNDING AGREEMENT ALLOCATION	04/30/26	416.67	10-5110-8707
Total WY CHILD & FAMILY DEV INC:			416.67	
WY CONF OF BUILDING OFFICIALS				
052826	MEMBERSHIP	05/28/26	50.00	10-5106-2120
Total WY CONF OF BUILDING OFFICIALS:			50.00	
WY LAW ENFORCEMENT ACADEMY				
C-12884	PEACE OFFICER BASIC TRAINING/AMMUNITION	05/18/26	826.25	10-5202-2122
C-12884	PEACE OFFICER BASIC TRAINING/AMMUNITION	05/18/26	52.75	10-5202-3210
C-12884	PEACE OFFICER BASIC TRAINING/AMMUNITION	05/18/26	1,182.90	10-5202-3210
Total WY LAW ENFORCEMENT ACADEMY:			2,061.90	
WY POLICE SERVICE DOG ASSOCIATION				
2026-050326	MEMBERSHIP DUES	05/03/26	60.00	10-5202-2120
Total WY POLICE SERVICE DOG ASSOCIATION:			60.00	
WY RETIREMENT SYSTEM				
050826	Payroll Deduction	05/08/26	76,167.89	10-20000224
Total WY RETIREMENT SYSTEM:			76,167.89	
WY STATE DISBURSEMENT CENTER				
050126	Payroll Deduction	05/01/26	34.90	10-20000226
051526	Payroll Deduction	05/15/26	34.90	10-20000226
052926	Payroll Deduction	05/29/26	34.90	10-20000226
Total WY STATE DISBURSEMENT CENTER:			104.70	
WY SUPREME COURT				
053126	CIVIL LEGAL SERVICE FEES	05/31/26	70.00	10-20000208
053126	AUTOMATION FEE	05/31/26	230.00	10-20000208
Total WY SUPREME COURT:			300.00	
WY TECHNOLOGY TRANSFER CENTER				
800	CONFERENCE REGISTRAION	05/14/26	500.00	10-5305-2122
Total WY TECHNOLOGY TRANSFER CENTER:			500.00	
WYODAK ENERGY SERVICES LLC				
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	70,310.57	31-5409-6544
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	3,515.53-	31-20000210
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	65,756.91	32-5508-6544
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	3,287.85-	32-20000210
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	82,196.13	56-5560-6544
4-052726	DOWNTOWN UTILITIES PROJECT	05/27/26	4,109.81-	56-20000210

Invoice Number	Description	Inv Date	Invoice Amount	GL Account Number
Total WYODAK ENERGY SERVICES LLC:			207,350.42	
WYOMING DEPT OF AGRICULTURE				
052726	POOL, SPLASH PAD & CONCESSION PERMITS	05/27/26	400.00	10-5354-3210
Total WYOMING DEPT OF AGRICULTURE:			400.00	
YOUTH DEVELOPMENT SERVICES				
052026	FUNDING AGREEMENT ALLOCATION	05/20/26	1,666.67	10-5110-8709
Total YOUTH DEVELOPMENT SERVICES:			1,666.67	
Grand Totals:			3,926,109.04	

Approved By _____

City Manager

Date _____



Agenda Item Report

City Council – June 8, 2026

Item

New Employee Introduction: Community Center Manager - Jacob Marcus

Responsible Staff Contact

Recommendation

Executive Summary

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
SD Outcome KPI
2014 Master Plan
2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Attachments

None



Agenda Item Report

City Council – June 8, 2026

Item

Proclamation: National Safety Month

Responsible Staff Contact

Recommendation

Executive Summary

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
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2014 Master Plan
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Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Attachments

1. June 2026 - National Safety Month

Proclamation

WHEREAS, the rate of unintentional injuries and deaths in the United States remain at unacceptable levels; and

WHEREAS, educating on moving safety forward, roadway safety, holistic worker health, and mitigating slips, trip and falls remain critical to preventing injuries and deaths in the United States; and

WHEREAS, the cost of unintentional injuries to the U.S. economy is approximately \$176.5 billion nationally and causes great suffering among individuals and their families; and

WHEREAS, The City of Douglas residents and all workers deserve to live in communities that promote safe and healthy living; and

WHEREAS, preventing unintentional injuries and deaths requires the cooperation of all levels of government, employers and the public; and

WHEREAS, the National Safety Council, founded in 1913, was congressionally chartered in 1953 to lead this nation in injury prevention through safety and health information, education, training and advocacy in the United States; and

WHEREAS, the National Safety Council and the Wyoming Montana Safety Council work to promote policies, practices and procedures leading to increased safety, protection and health in business and industry, in schools and colleges, on roads and highways, and in homes and communities; and

WHEREAS, the National Safety Council and the Wyoming Montana Safety Council in 2026 will provide this nation with a month-long public education campaign; and

WHEREAS, the summer season is a time of increased rates of unintentional injuries and deaths, it is an appropriate time to focus attention on injury risks and prevention.

NOW, THEREFORE, I, Kim Pexton, Mayor of the City of Douglas, Wyoming, do hereby proclaim June 2026, as:

NATIONAL SAFETY MONTH

and strongly urge the citizens and businesses of The City of Douglas to observe National Safety Month by practicing safe and healthy behaviors in all aspects of their lives

IN WITNESS WHEREOF, I have hereunto set my hand and caused the official Seal of the City of Douglas, Wyoming, to be affixed this 8th day of June, 2026.

ATTEST:

Kim Pexton, Mayor

Devon Litzsinger, City Clerk



Agenda Item Report

City Council – June 8, 2026

Item

Fire Restrictions & Fireworks Ordinance - Council Direction

Responsible Staff Contact

Michele Carter

Recommendation

Executive Summary

Staff looked into a possible fire ban at the Council's request. After consultation with Mike, most of the restrictions in the county's fire ban are already provided for by City ordinance. The City ordinance doesn't allow residents to burn garbage or have campfires. Our code also wouldn't allow the type of burnable material referenced in the county's fire ban, such as weeds or dried grass. The one point of concern that staff does have, though, is the newly adopted fireworks ordinance that specifically allows for fireworks. We are seeking direction from the Council regarding a fire ban that may include restrictions on fireworks use and that either allows the Council or the City Manager to institute the ban.

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
SD Outcome KPI
2014 Master Plan
2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Attachments

1. Current City Ordinances with Notable Fire Restrictions
2. 03-26 Converse County Fire Ban Partial Restrictions 03.24.2026
3. Ordinance 1065 Fireworks

Current City Ordinances with Notable Fire Restrictions

12.16.050 - Fires in unauthorized areas.

It is unlawful to light, make or use any fire, except in those areas where fires are specifically authorized; provided, however, that this section shall not apply to authorized park, city or recreation district employees acting in the scope of their employment.

8.20.170 - Burning garbage and refuse.

It is unlawful for any person to burn or cause to be burned any garbage, waste, packing material, trash, refuse, discarded boxes or other materials within the corporate limits of the city without first having obtained written permission from the fire chief through the burn permit. Burn permit applicant/property owner shall notify the fire department, the police department and dispatch one (1) hour prior to starting the burn.

8.20.200 - Weeds—Composting exception.

A. For the purpose of this chapter, the following words and phrases shall have the meaning respectively ascribed to them by this section:

- 1. "Native areas" means those areas adjacent to the city's open drainageways and areas of natural groundcover, and/or areas of extreme topography.*
- 2. "Drainageways" means a route or course along which water moves or may move to drain a region.*
- 3. "Wood plants" means perennial plant materials such as trees, shrubs, vines and groundcovers with woody fiber, which serve as desirable flora components of an urban landscape.*

B. Weed Removal. All premises and adjoining property, including the space between such property and the street and that portion of the alley adjoining such property, and the sidewalk areas abutting thereon, shall be maintained free from weeds and untended growth of vegetation in excess of eight (8) inches in height. The presence of such weeds may create a fire, safety or health hazard, or may attract vermin either on the property, on neighboring properties, or on both. All noxious weeds shall be prohibited. Weeds shall be defined as all grasses, annual plants and vegetation, other than trees or shrubs, provided, however, this term shall not include cultivated flowers, gardens and lawns. Nothing in this subsection is intended to prohibit the use of tall, decorative grasses or plants as part of a landscaping or xeriscaping scheme.

Exception. Tracts of land greater than two (2) acres in size which are unsubdivided and unimproved and/or subdivided but unimproved, and under single ownership. Fire break required as per subsection C.

C. Fire Break Required.

- 1. It is the duty of every owner of any lot, or parcel of ground in the city, to mow and maintain a ten-foot strip for a fire break between their private property and the native areas adjoining the property.*
- 2. Tracts of land greater than two (2) acres in size which are unsubdivided or subdivided, unimproved, contiguous, and under single ownership shall be mowed a minimum of ten (10) feet from the property line into the property or twenty (20) feet when adjacent to residential neighborhoods.*

3. Drainageways, excluding the North Platte River, shall be mowed a minimum of ten (10) feet extending out from the top of the bank. When drainageways are adjacent to residential neighborhoods, they shall be mowed a minimum of twenty (20) feet extending out from the top of the bank. Woody plants located within this area are exempt from having to be mowed. The code enforcement officer, for reasons of erosion, spoilage of natural groundcover, etc., can deem the mowing of the drainageway to be impractical, and exempt from the mowing requirement.

4. Native areas and/or areas of extreme topography, as determined by the community development department, and the natural vegetation contained therein, are exempt from the weed removal and height limitation provisions of this chapter with the exception of subsection C.1.

D. Composting Exception. The provisions of subsection A. do not prohibit the maintenance of a compost pile on residential property, so long as the compost pile does not create a hazard and is:

- 1. Contained;*
- 2. Maintained so as not to produce offensive odors or attract flies or vermin;*
- 3. Located, insofar as reasonably possible, so that it is not visible from abutting properties or streets;*
- 4. Maintained in compliance with all rules, regulations and procedures that may be promulgated by the public works director.*

**RESOLUTION NO. 03-26
CONVERSE COUNTY, WYOMING**

**A RESOLUTION IMPLEMENTING A PARTIAL CLOSURE WITH STAGE 1
RESTRICTIONS PER THE BOARD OF LAND COMMISSIONERS' RULES
AND REGULATIONS DUE TO EXTREME FIRE DANGER**

WHEREAS, the entirety of Converse County, Wyoming, has a high fuel load which may result in a potentially high fire danger throughout the County and the fire danger is aggravated by unrestricted outdoor fires and open fires; and

WHEREAS, the Converse County Fire Warden has recommended to the Converse County Board of Commissioners a partial closure be ordered for the entirety of Converse County, Wyoming; and

WHEREAS, Section 35-9-301, Wyoming Statutes, 1977, as amended, grants statutory authority to any Board of County Commissioners, within the State of Wyoming, to close or limit the use of any area with its county including, but not limited to the prohibition and/or restrictions of any type of open fire for such period as is deemed necessary and proper, subject to rules promulgated by the Board of Land Commissioners of the State of Wyoming; and

WHEREAS, pursuant to Section 35-9-303, Wyoming Statutes, 1977, the Board of Land Commissioners have promulgated Rules and Regulations necessary for county fire wardens and boards of county commissioners to carry out the purposes of Sections 35-9-301 through 35-9-304, Wyoming Statutes, 1977; and that per said rules and regulations, the definitions, restrictions, and exceptions pertaining to partial closures are set forth; and

WHEREAS, it is deemed necessary and in the best interests of the citizens of Converse County, Wyoming, that the Converse County Board of Commissioners order a partial closure with Stage 1 Restrictions, per Chapter 9 of the Board of Land Commission Rules and Regulations, within the boundaries of Converse County and provide certain exceptions and exemptions to such partial closure order.

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF CONVERSE COUNTY, WYOMING, that the Board of Commissioners of Converse County make and enter its Order imposing a partial closure within the boundaries of said county as follows:

1. Stage 1 Restrictions:
 - i. Discharge of fireworks and all outdoor fires are prohibited in unincorporated and unimproved areas;
 - ii. Only campfires at residences or campsites, within a fire ring centered within a minimum of a 10-foot cleared radius of burnable materials.
 - iii. Trash or refuse fires between the hours of 6:00 p.m. and 8:00 a.m., inside containers provided with spark arresters and located within a cleared radius of a minimum of 10-foot of burnable materials.
 - iv. Charcoal fires within enclosed grills are permitted.
 - v. Use of acetylene cutting, electric arc welders, or metal grinding in a cleared radius of 10-foot of burnable materials.
 - vi. The use of portable stoves, lanterns, using gas, jellied petroleum, pressurized liquid fuel or fully enclosed (shepherd type) stove and open fire branding activities in a cleared radius of 10 feet of burnable materials is permitted.

Original Record on file at County Commissioners' Office, Converse County Courthouse, Douglas, Wyoming

BE IT FURTHER RESOLVED that the following persons shall be ordered to be exempt from the partial closure prohibition and restrictions:

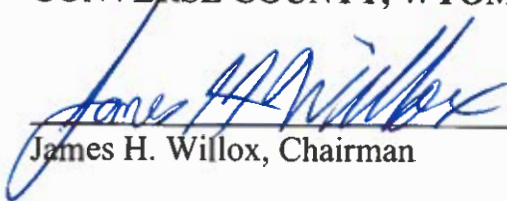
1. Any federal, state, or local officers engaged in fire, emergency, and law enforcement activities.
2. Any member of an organized rescue or fire fighting force engaged in the performance of an official duty.
3. Exceptions to these restrictions and closures can be made in writing by the appropriate jurisdictional entity.

BE IT FURTHER RESOLVED that the partial closure order shall be effective and in full force beginning March 24, 2026, at 1:30 p.m., upon the signing of the Order of Closure made and entered by authority of this Resolution and shall remain in force and effect until officially removed by the Board of County Commissioners.

BE IT FURTHER RESOLVED, that per W.S. 35-9-304, the use of any area in violation of the Resolution shall be a misdemeanor and shall be punished by a fine of not to exceed one hundred dollars (\$100.00), imprisonment in the county jail not to exceed thirty (30) days, or both the fine and imprisonment, with restitution ordered.

APPROVED, PASSED AND ADOPTED this 24th day of March, 2026.

**BOARD OF COUNTY COMMISSIONERS
CONVERSE COUNTY, WYOMING**


James H. Willox, Chairman



ATTEST:


Karen Rimmer, Converse County Clerk

ORDINANCE NO. 1065

AN ORDINANCE AMENDING SECTION 8.08.010 FIREWORKS PROHIBITIONS

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

8.08.010 Prohibitions of the Douglas Municipal Code is hereby repealed and amended to read as follows:

(A) *Definitions*. For the purpose of this section, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

AERIAL CONSUMER FIREWORKS. Legal consumer fireworks including, but not limited to sky rockets, bottle rockets, roman candles, reloadable shell devices, mortar type fireworks, and any airborne open flame, including sky lanterns.

ILLEGAL CONSUMER FIREWORKS. Any fireworks that do not comply with the U.S. Consumer Product Safety Commission (C.F.R. Title 16~Commercial Practices, Part 1507), effective December 25, 2020, and that are enumerated in the American Pyrotechnics Association Inc., Standard 87-1A, B, and/or C, and/or Wyoming Statute § 35-10-201.

LEGAL CONSUMER FIREWORKS. Novelty consumer or aerial consumer fireworks designed primarily to produce visible effects by combustion, that must comply with the construction, chemical composition, and labeling regulations promulgated by the U.S. Consumer Product Safety Commission (C.F.R. Title 16~Commercial Practices, Part 1507), effective December 25, 2020 and that are enumerated in the American Pyrotechnics Association Inc., Standard 87-1, and/or Wyoming Statute § 35-10-201. All other fireworks would be considered illegal.

NOVELTY CONSUMER FIREWORKS. Non-aerial fireworks limited to, sparklers, smoke devices, snakes, snappers, party poppers, ground-based sparklers, and fountains up to 500 grams.

MODEL ROCKET ENGINE. A commercially manufactured, nonreusable rocket propulsion device constructed of a nonmetallic casing and solid propellant wherein all of the ingredients are self-contained so as not to require mixing or handling by the user. The propellant charge may not exceed two and two-tenths ounces [62.37 grams] per engine. Use of such engine is not banned under this code.

(B) *Use Regulation.*

(1) It shall be unlawful for any person to shoot, discharge, or explode, or cause to be shot, discharged, or exploded, any Aerial Consumer Fireworks, Illegal Consumer Fireworks, or Legal Consumer Fireworks in the city except for Novelty Consumer Fireworks. Novelty Consumer Fireworks shall only be discharged within city limits in areas other than public streets, sidewalks, parks, grounds, or within the downtown business district of the city. The discharge of Novelty Consumer Fireworks shall be allowed, in accordance with state law, between the hours of 9:00 a.m. and 11:59 p.m. on July 4th and December 31st. Any police officer of the City shall be authorized to seize, take and remove, at the expense of the violator, all Aerial Consumer Fireworks, Illegal Consumer Fireworks, or Legal Consumer Fireworks, excepting Novelty Consumer Fireworks, in the possession of the violator.

(2) Nothing in this section shall prohibit the use of a public display of fireworks in the city, provided that the provisions of Douglas Municipal Code § 8.08.020 are followed.

(C) *Sale Regulation*

(1) It is unlawful for any person to barter, sell or give away to any person within the city any firecracker or other form of fireworks other than clearly defined novelty fireworks as defined in this Code and/or in Wyoming Statute § 35-10-201.

PASSED AND APPROVED ON FIRST READING this _____ day of _____, 20____.

PASSED AND APPROVED ON SECOND READING this _____ day of _____, 20____.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this _____ day of _____, 20____.

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

Published: _____

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

Devon Litzsinger, City Clerk

DRAFT



Agenda Item Report City Council – June 8, 2026

Item

Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening

Responsible Staff Contact

Clara Chaffin

Recommendation

Continue review and edits or approve Ordinance 1070 as presented on first reading.

Executive Summary

June 8, 2026 Update

Ordinance 1070 has been updated to reflect comments from the Council discussion on May 26, 2026, including:

- Verifying all numbers align throughout each section.
- Allowing synthetic grass when a tree is included to reduce heat-islands.
- Removing landscape buffers.
- Removing the education component.
- Allow zero-scape with trees to reduce heat-islands.
- Making clear that fruit-bearing trees are allowed on private property.
- Moving Table 5.5-3 (now Table 5.5-1 Internal Landscaping Calculations) closer to the beginning of the landscape code.
- Reducing the 75% live vegetation requirement to 25% of the total landscape percentage throughout.
- Allowing for just a 100% opaque fence instead of a combination of landscaping, berms, and fences/walls.
- Removing landscaping around refuse storage screening.
- Clarifications throughout.

Overall, the aim was to enable more flexibility for the property owner or developer, especially with the allowance of the Alternate Landscape Plan.

A track-changes document and a clean document have been provided for review.

Original Narrative

Ordinance 1070 updates the municipal code to align with water-wise landscaping as the City considers growth with long-term resource stewardship. The revised standards

prioritize drought-tolerant and native plant species suited to local conditions, reducing dependence on high-water-use turf and lowering long-term maintenance demands. They also emphasize efficient irrigation practices, such as drip systems, soil moisture sensors, and appropriate watering schedules, to minimize waste and improve effectiveness.

Unlike other sections of municipal code, this update includes educational components identifying reasoning and background to assist users in understanding water-wise concepts.

While advancing conservation goals, the code maintains flexibility for functional turf areas and encourages attractive, regionally appropriate landscape design, ultimately fostering a more resilient, efficient, and visually appealing built environment.

Background

Alignment to Strategic Doing (SD) and/or Other Plans

Budget/Fiscal Impact

Action Requested/Recommended Motion

Approve Ordinance 1070 as presented on first reading.

Attachments

1. Ordinance 1070 Landscaping Code Update (Water-Wise) 1st Reading 20260608 Track Changes
2. Ordinance 1070 Landscaping Code Update (Water-Wise) 1st Reading 20260608 Clean

ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

Section 1. Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

5.5 Landscaping, Buffering, and Screening

5.5.1 General

A. Intent

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief; and
- Discourage the spread of noxious weeds and invasive plant species;
- Promote the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

B. Definitions

Turfgrass: Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

Water-Wise Landscape: Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

Xeriscape Landscape: Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

Zero-scape Landscape: Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

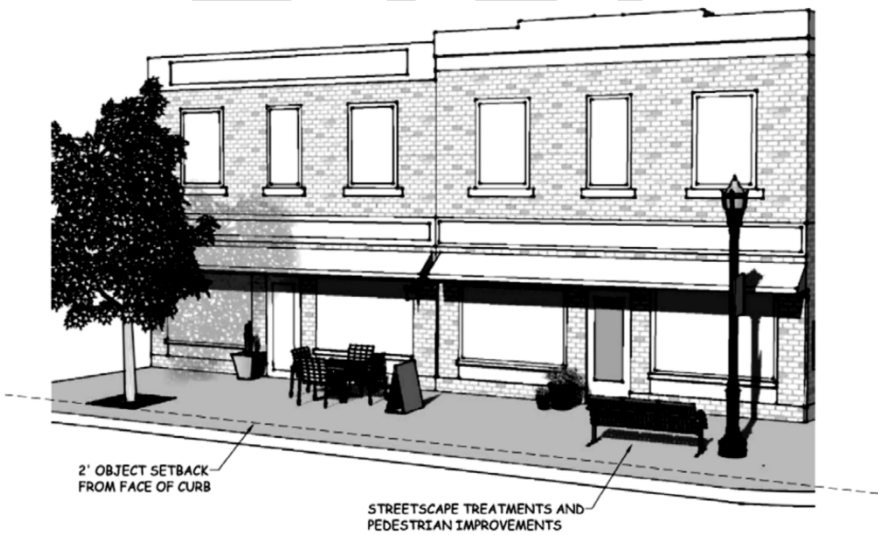
B.C. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3 JK, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

C.D. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5-25.5-1 below for an example of acceptable landscaping treatments).

Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District



D.E. Landscape Materials

i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

Water-Wise Landscaping

~~Douglas, Wyoming, receives an average annual precipitation of approximately 12.6 to 15 inches, making it a semi-arid region. Most moisture occurs in late spring and early summer, particularly in May. A water-wise approach to landscaping is appropriate and recommended in semi-arid regions where water supply is limited and in demand.~~

~~A water-wise landscape is one that is functional, attractive, and easily maintained in its natural surroundings. A water-wise landscape helps to conserve water while optimizing every drop toward the health, appearance, and performance of the built landscape.~~

~~Proper planning and design are essential to the success of any landscape and water-wise landscapes are no exception. Conserving water in the landscape can be accomplished by selecting low water use plants, designing and scheduling irrigation systems efficiently, grouping plants according to their water requirements, and using hardscaping materials (patios, stone paths, decks, etc.) appropriately to reduce the area requiring irrigation.~~

~~One of the most effective methods to conserve water in the built landscape is to reduce and minimize the amount of irrigated non-native turfgrass. Alternatives to thirsty turfgrass are described further below.~~

ii. Combination of Plant Materials and [Landscape TreatmentsTypes](#)

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable [xeriscapewater-wise](#) landscaping ~~along with non-living material such as mulch, gravel, boulders, or decorative elements.~~

~~Typically, a constructed landscape in the built environment includes the following treatments or site finishes:~~

- [Hardscape](#)
 - [Parking lots](#)
 - [Driveways](#)
 - [Sidewalks](#)
 - [Patios and public plazas](#)
- [Softscape](#)
 - [Non-native, turf-forming grass \(such as Kentucky bluegrass or turf-type fescue\)](#)
 - [Native or adapted grasses](#)
 - [Mulched landscape beds \(with organic or inorganic mulches\)](#)
 - [Plant material \(native, non-native and adaptable trees, shrubs, perennials, annuals\)](#)

~~The required landscape area shall consist of a minimum of twenty-five (250%) percent living plant material based on mature size of vegetation per Table 5.5-1. Living plant material may be comprised of irrigated turf (when permitted per this code section), native grass, or a water-wise landscape as described in this code section. The foliage crown of deciduous trees shall not may be used in the 250% living material calculation.~~

iii. [Zero-scape](#)

~~Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.~~

iv. [iii. Minimizing Turfgrass](#)

~~Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.~~

~~While this landscape treatment is widely used in semi-arid communities throughout the country, it requires large amounts of water and energy to maintain.~~

~~There are many appropriate and important applications for turf, including for civic, community, or recreational purposes such as parks, sports fields, and playgrounds. However, often turfgrass is non-functional and located in areas that receive little, if any use. In this instance there is a high volume of water being used for essentially non-functional ornamental purposes. In most of these cases irrigated turf could be replaced with water-wise landscape treatments without adversely impacting quality of life or landscape functionality.~~

~~By eliminating turfgrass, you drastically reduce the need for mowing and herbicides, and fertilizers that turf needs to thrive. Switching to water-wise landscapes can reduce maintenance costs by up to 60%.~~

~~To the extent possible, irrigated water-wise turfgrass and shall be minimized and limited only to the civic, community or recreational applications described above functional areas and not used for strictly ornamental purposes.~~

Commented [CC1]: Could change this word to "should."

- ~~i. Turfgrass shall not be used in narrow, non-functional areas that are difficult to water efficiently without significant overspray. This would include but not be limited to applications such as parking lot and roadway islands, and right-of-way areas between detached sidewalk and back of curb as well as similar street and parkway applications. In addition to being narrow and hard to irrigate efficiently these areas are frequently unshaded and very hot. This requires even greater amounts of water to maintain the health and appearance of turf.~~

~~ii. Single Family Residential Turf~~

- ~~Front Yard – Irrigated turf in frontage areas shall not exceed 40% of the landscape area or 1,000 sf whichever is less and shall be a minimum of 8' in all directions.~~
- ~~Side Yard – The use of irrigated turf is generally discouraged in narrow side yard applications.~~
- ~~Back Yard – Irrigated turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

~~Irrigated sod shall be prohibited except in active recreation areas on all other building types, development sites and landscape tracts unless otherwise approved by the City.~~

Commented [DL2]: This statement has wide implications. Consider the impacts and consider discussing with Council

~~Exception: Acceptable waterwise lawn-type grass (alternatives to bluegrass and similar turfgrass species) could include blends or mixes that thrive with minimal irrigation once established, that requires fewer inputs than traditional turf, that provide pollinator support in the form of habitat edges and wildflower borders, that provide a no-mow option growing low and lush without frequent mowing, and that performs well in full sun, partial sun and shaded areas.~~

~~Some seed species and mix types are described below. These are provided as general examples. The city recommends working with a landscape professional, county extension, or other knowledgeable professionals when selecting a seed mix for your site and conditions:~~

- ~~Shortgrass Prairie Turf Mix (blue grama-buffalograss dominant)~~
- ~~Native Low-Grow Turf Mix (blue grama, buffalograss, Sandberg bluegrass)~~
- ~~Open Space Mix (western wheatgrass with shortgrasses)~~
- ~~Native Lawn Alternative Mix (native grasses with limited fine fescue)~~

~~These alternative grass solutions should not be viewed as a universal alternative to non-native turfgrass in all instances but rather another option to consider when developing a landscape plan. These alternative lawn types typically do not support the same foot traffic and physical impact that turf-forming grass can tolerate and have very specific lighting requirements.~~

v. Traditional Spray Irrigation

~~Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described above. Even the lower water use natives and adapted alternates to turfgrass will require some overhead spray irrigation to establish and to remain robust enough to thrive and compete with invasive weed species. All other irrigation systems shall be drip or micro spray systems.~~

vi. Minimizing Synthetic Turf

~~As with non-native turf grass, there are many appropriate and important applications for synthetic (artificial) turf, including for high-use civic, community, or recreational applications such as sports fields, and playgrounds. And like non-native turfgrass, synthetic turf can have negative environmental impacts. In some situations, synthetic turf has been found to exacerbate heat island effects in urban areas and releasing harmful chemicals.~~

~~To the extent possible, synthetic turf shall be minimized and limited only to the civic, community or recreational applications described above and not used for strictly ornamental purposes. shall include a minimum of one tree to reduce “heat-island” effect.~~

~~Exception: Synthetic turf used for recreational purposes such as ballfields.~~

~~Synthetic turf shall not be used in narrow, non-functional areas in front yards or in commercial landscapes.~~

~~Single Family Residential Turf~~

~~Front Yard – Synthetic turf shall be prohibited in front yards for strictly ornamental purposes and unless otherwise approved by the City.~~

~~Back Yard – Irrigated turf, synthetic turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

iii-vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

E.F. Completion of Required Landscaping for New Development

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

ii. Landscape Completion Agreement

Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to

Commented [CC3]: Could change this word to “should.”

complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

5.5.2 Alternate Landscape Plan

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Residential, Commercial, or Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan,; and
- Weather the plan considers water-wise landscape practices; and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

Under no circumstances shall an alternate landscape plan be approved if the plan would result in a reduction to any of the required landscape buffers or if the plan would eliminate a required landscape category.

5.5.3 Landscape Requirements

A. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

Table 5.5-1 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped	Percentage of Landscaped Area Required to be Living Plant Material	Number of Internal Trees Required
Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).

	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%)	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%)	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

i. Exceptions to Internal Landscaping Requirements

- a. Developments with approved Alternate Landscape Plans.
- b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

A.B. Street Trees/Roadway Landscaping

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

i. Type A Development Exception

Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.

ii. Street Tree Spacing and Setbacks

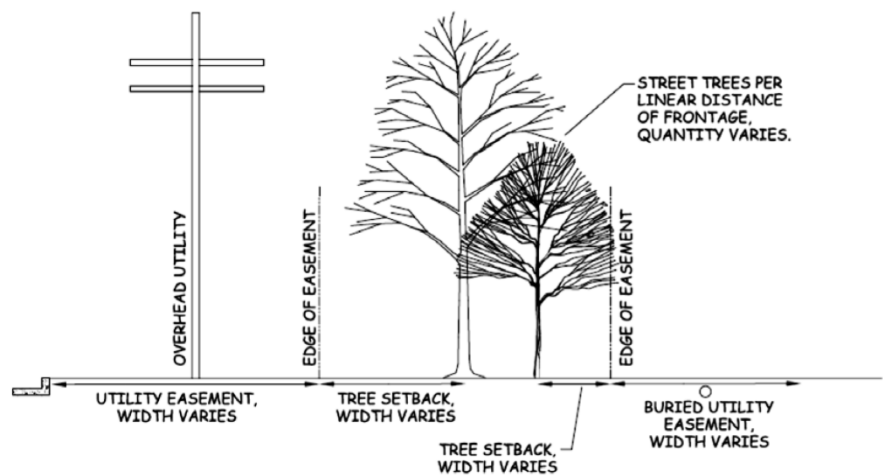
Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-12 (see also Figure 5.5-2 below for an example of street tree setbacks).

Table 5.5-12 Street Tree Requirements

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet

Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

Figure 5.5-2: Example of street tree setbacks.



ii-iii.
 Approved Street Tree Species

The use of any tree species not identified in Table 5.5-23 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the Community DevelopmentParks and Recreation Director.

Table 5.5-23 Authorized Street Tree Species

Common Name	Botanical Name	Minimum Caliper Size/Height
Small Trees (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	Acer glabrum	Broadleaf Trees - All residential except multi-family residential = 1.5" caliper - Multi-Family Residential = 2" caliper - Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Norway Maple	Acer platanoides	
Shantung Maple	Acer truncatum	
Apple Serviceberry	Amelanchier x grandiflora	
Eastern Redbud	Cercis canadensis	
Cornelian Cherry	Cornus mas	
Russian Hawthorn	Crataegus ambigua	
Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	
Amur Maackia	Maackia amurensis	
Prairie Rose Crabapple (fruitless)	Malus ioensis	
China Snow Lilac	Syringa pekinensis	Conifer Trees Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Summer Charm Lilac	Syringa pekinensis	
Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	

Medium Trees		<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Trident Maple	Acer buergeranum	
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	
Common Alder	Alnus glutiosa	
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	
Large Trees		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iii-iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (Acer negundo)
- Siberian elms (Ulmus pumila)

- Any of the poplar (Populus) species including cottonwoods, poplars, and aspens
- Any willow (Salix) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (Fraxinus) species
- Walnut (Juglans) species
- Silver maple (Acer saccharinum),
- Freeman maple (Acer x freemannii)
- Sunburst honeylocust (Gleditsia triacanthos inermis 'Sunburst')
- Bradford pear (Pyrus calleryana 'Bradford')
- Mulberry (Morus) species
- Russian-olive (Elaeagnus angustifolia)
- Tree-of-heaven (Ailanthus altissima).

B.—Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable xeriscaping water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.52-3 below. Internal landscaping requirements shall be in addition to the requirements for street trees, buffering, and screening. All remaining open soil areas of the site that have been disturbed by construction that are not landscaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

Table 5.5-3 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped
Single-Family Residential, Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0—19,999 square feet	Ten percent (10%)
	20,000 square feet — one (1) acre	Eight percent (8%)
	Over one (1) acre	Six percent (6%)
Commercial and Industrial by Type A or Type B	0— one (1) acre	Fifteen percent (15%)No % requirement—see buffer section 5.5.3C.
	Over one (1) acre	No % requirement—see buffer section 5.5.3C.Twenty percent (20%)
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	Twenty percent (20%) of the net developable site. Perimeter and parking lot landscaping areas can be included toward meeting the requirement.

i.—Internal Landscaping Requirements

One (1) tree shall be provided within the internal landscape area for every 500 square feet of required internal landscape area. A minimum of 75% required internal landscape area shall be vegetated with live ground cover.

ii.—Internal Landscaping Shall Not Create An Obstruction

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- ~~The view of vehicular traffic within the sight line triangle at any street or alley intersection;~~
- ~~The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or~~
- ~~Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.~~

iii. ~~Exceptions to Internal Landscaping Requirements~~

~~Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsections 5.5.2.G and H below. Single family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.2.F.i. below~~

C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section [except where adjacent to a similar lot.](#) ~~(provide example).~~

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i. ~~Landscape Setbacks~~

~~Landscaping shall be located and installed within the landscape setback between differing uses and differing zoning districts. Landscape setbacks shall be located outside of existing or proposed easements and existing or proposed public rights-of-way.~~

ii. ~~Obstructions Prohibited~~

~~No tree, shrub, or other landscaping treatment installed for the purposes of buffering or screening shall be located in the front or side yard of a lot or parcel in a manner that could create an obstruction interfering with any of the following:~~

- ~~The view of vehicular traffic within the sight line triangle at any street or alley intersection;~~
- ~~The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or~~
- ~~Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.~~

iii.i. ~~Clustering of Trees~~

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

iv.ii. ~~Parking Lot Buffering and Screening~~

a. ~~Required Parking Lot Buffer~~

~~Parking lots and loading areas shall provide a minimum five (5) foot landscape buffer around the perimeter of the parking lot or loading area except in areas necessary to provide vehicular access to the site.~~

b.a. ~~Screened Buffering~~ from Rights-of-Way

Commented [DL4]: Do we need to provide an example?

Commented [CC5R4]: Create example as a drawing.

Parking lots shall be ~~screened buffered~~ from adjacent public rights-of-way with a combination of plantings, ~~xeriscaping materials~~, and landscaped berms. Any landscaping ~~or xeriscaping~~ treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at ~~the time of installation~~full maturity.

~~e-b.~~ _____ Adjacent to Residential Uses

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, ~~xeriscaping materials~~, landscaped berms, ~~and/or one hundred (100%) percent~~ opaque fences or decorative walls. ~~Any landscaping or xeriscaping treatments installed to screen parking lots from residential uses shall be at least three (3) feet in height at the time of installation.~~

~~d.~~ — Required Screening

~~Any parking lot buffer area within which a decorative screening wall is proposed shall also include live ground cover over a minimum of 75% of the buffer area.~~

D. Refuse Storage Screening

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-~~32~~ below for an example of refuse storage screening).

i. Refuse Containers

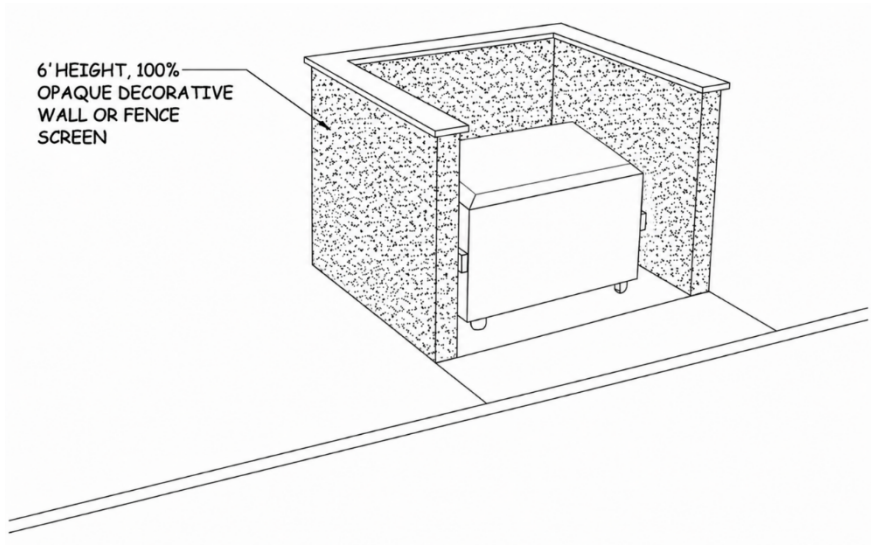
Refuse container enclosures shall be surrounded on three (3) sides by a ~~one hundred (100%) percent~~ opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

~~ii.~~ **Screening Requirements**

~~The non-access sides of the enclosure shall also have an additional three (3) foot landscape buffer around the perimeter of the enclosure and shall be screened with a minimum of 75% ground live ground cover or, additional landscape plantings, or xeriscaping materials if the enclosure will be visible from a residential zoning district or an existing residential use.~~

Figure 5.5-3: Example of refuse storage screening.

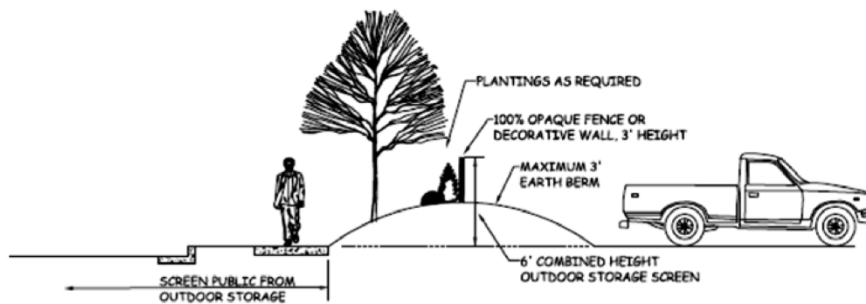
Commented [CC6]: Ask David to redraw this figure without the landscape buffer.



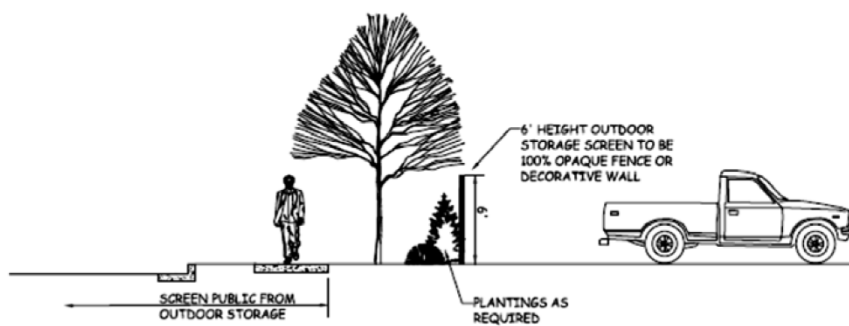
E. Outdoor Storage Screening (Commercial and Industrial)

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, ~~xeriscaping materials~~, landscaped berms, ~~and/or one hundred (100%) percent~~ opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

Figure 5.5-4: Examples of outside storage screening.



OUTDOOR STORAGE SCREENING
WITH EARTH BERM



OUTDOOR STORAGE SCREENING
WITHOUT EARTH BERM

F. Commercial Buffering and Screening Requirements

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts with a combination of plantings, xeriscaping materials, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative walls.

i. Required Landscape Buffer

Commercial uses adjacent to a residential zoning district shall provide a minimum 20-foot landscape buffer around the perimeter of the subject property. Landscape buffers shall include a minimum of 75% live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of 30% of the landscape buffer area shall be covered with natural turf or native grasses.

ii. Required Screening

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a commercial use from an adjacent residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming.

~~Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.~~

G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts with a combination of plantings~~73~~, ~~xeriscaping materials~~, landscaped berms, and ~~or~~ one hundred (100%) percent opaque decorative screening walls.

~~i. Required Landscape Buffer~~

~~Where an industrial use abuts a non-industrial zone district or public right-of-way, the industrial use shall provide a minimum of twenty-five-foot-foot landscape buffer. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials.~~

~~A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.~~

~~ii. Required Screening~~

~~Industrial uses adjacent to a non-industrial use shall be screened with a combination of landscaped berms and decorative walls. A minimum of one (1) tree for every thirty (30) feet of common property line with a non-industrial use shall be provided along the outside face of the wall to reduce a negative visual massing effect. A maximum of thirty (30) percent of the required wall trees may be substituted at a rate of fifteen (15) shrubs for each required tree. One-third (1/3) of the required trees shall be evergreen with a minimum height at maturity of six (6) feet to provide a year-round visual screening effect. The Community Development Director, in approving a Type A Development Plan, or the City Council, in approving a Type B or Type B-LSR Development Plan, may authorize an alternate screening plan to meet the industrial screening requirements.~~

~~iii. Industrial Screening Fences, Walls, & Combinations Walls~~

~~Screening fences or walls shall be at least six (6) feet in height including when used in combination with landscaped berms. When using a combination of berms and fences or walls, The Community Development Director may permit an opaque fence to meet the required screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.~~

H. Residential Landscaping Requirements

i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used ~~exclusively~~ for the planting and growing of trees, shrubs, ~~lawns~~, gardens, ~~xeriscaping~~, and other ~~water-wise~~ ground covering or landscaping material approved by the City. ~~Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged.~~ Each single-family residential site plan shall provide for the planting of a minimum of one (1) ~~street tree, pursuant to the street tree requirements of this Chapter.~~ No other landscaping requirements shall apply to single-family residential uses.

ii. Multi-Family Residential Buffering Requirements

~~All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts~~

with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative walls.

Multi-family uses abutting a single-family residential or non-residential use shall provide a minimum fifteen-foot landscape buffer along the shared property line. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.

iii. ~~Multi-Family Residential Screening Requirements~~

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a multi-family residential use from an adjacent single-family residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or one hundred (100) percent opaque fences or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen multi-family residential uses from single-family residential uses. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

I. **Manufactured and Mobile Home Parks / Travel Trailer and RV Parks**

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped earthen berms, and or one hundred (100%) percent opaque fences and decorative screening walls.

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.

The City Council, in approving a Type B Development Plan ~~for a manufactured or mobile home park~~, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

i. **Landscaping Plan Required**

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

ii. **Compliance with General Landscape Requirements of this Section**

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

iii. **Internal Landscape Requirements**

A minimum of ten (10%) percent of the gross site area ~~of a manufactured and/or mobile home park~~ shall be reserved for a park and recreational area. A minimum of

one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

iv. Required Landscape Buffer

Manufactured and/or mobile home parks or travel trailer and RV parks abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative screening walls pursuant to the requirements in Table 5.5-4 below. Landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-4 Minimum Manufactured/Mobile Home Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a manufactured and/or mobile home park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v. Required Landscape Screening

A minimum of one (1) tree shall be required for every twenty-five (25) linear feet of buffer area. A maximum of thirty (30) percent of the required trees may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi.v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Manufactured and/or mobile home parks or travel trailer and RV parks shall be buffered from adjacent public rights-of-way with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fences and decorative screening walls.

shall provide a minimum six (6) foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

J. Travel Trailer and RV Parks

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped berms, and decorative walls. The City Council, in approving a Type B Development Plan for a travel trailer or RV park, may require increased landscape buffers and screening between the proposed travel trailer and

RV park site and the adjacent use if such park is adjacent to a visually sensitive existing land use.

i. Landscaping Plan Required

All travel trailer or RV park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Travel trailer and RV parks shall comply with the general landscape requirements in Section 5.5.1 above.

iii. Internal Landscape Requirements

A minimum of ten (10) percent of the gross site area of a travel trailer and RV park shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted for every six hundred (600) square feet of designated park and recreation area.

iv. Required Landscape Buffer

Travel trailer or RV parks abutting a residential, commercial, or industrial zoning district shall provide landscape buffers pursuant to the requirements in Table 5.5-5 below. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-5 Minimum Travel Trailer/RV Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a travel trailer and RV park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v. Required Landscape Screening

A minimum of one (1) tree shall be required for every thirty (30) linear feet of buffer area. A maximum of thirty (30) percent of the required trees for may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Travel trailer and RV parks shall provide a minimum six-foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

K.I. Irrigation and Maintenance

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

~~Commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park.~~ Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health ~~unless otherwise approved as a xeriscaping alternative.~~ Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

K. Obstructions Prohibited

~~Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:~~

- ~~• The view of vehicular traffic within the sight line triangle at any street or alley intersection;~~
- ~~• The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or~~
- ~~• Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.~~

PASSED AND APPROVED ON FIRST READING this ~~11th day of May~~ 8th day of June, 2026.

PASSED AND APPROVED ON SECOND READING this _____ day of _____, 2026.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this _____ day of _____, 2026.

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

Published: _____

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

Devon Litzsinger, City Clerk

DRAFT

ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

Section 1. Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

5.5 Landscaping, Buffering, and Screening

5.5.1 General

A. Intent

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief;
- Discourage the spread of noxious weeds and invasive plant species;
- Promote the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

B. Definitions

Turfgrass: Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

Water-Wise Landscape: Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

Xeriscape Landscape: Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

Zero-scape Landscape: Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

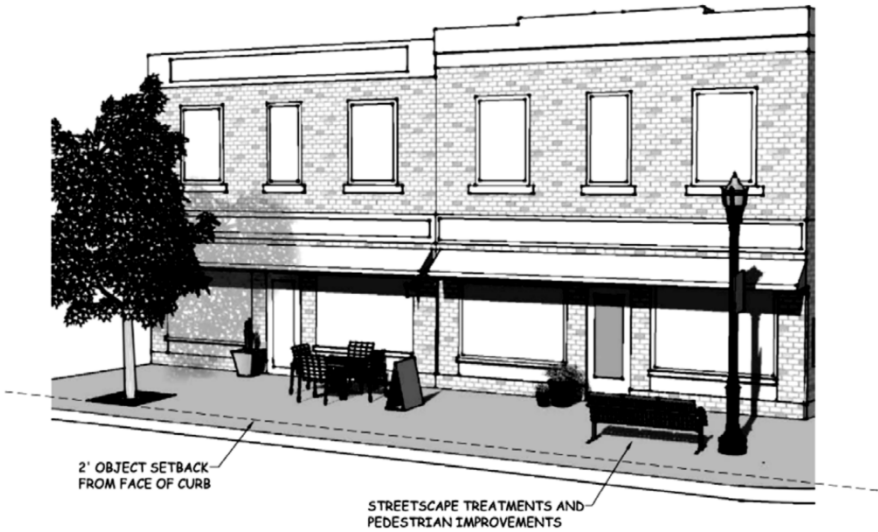
C. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3.J, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

D. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5.5-1 below for an example of acceptable landscaping treatments).

Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District



E. Landscape Materials

- i. Authorized Landscaping Materials
All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.
- ii. Combination of Plant Materials and Landscape Treatments

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable water-wise landscaping along with non-living material such as mulch, gravel, boulders, or decorative elements.

The required landscape area shall consist of a minimum of twenty-five (25%) percent living plant material based on mature size of vegetation per Table 5.5-1. The foliage crown of deciduous trees may be used in the 25% living material calculation.

iii. Zero-scape

Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.

iv. Minimizing Turfgrass

To the extent possible, irrigated water-wise turfgrass and shall be minimized and limited only functional areas and not used for strictly ornamental purposes.

Commented [CC1]: Could change this word to “should.”

v. Traditional Spray Irrigation

Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described above. All other irrigation systems shall be drip or micro spray systems.

vi. Minimizing Synthetic Turf

To the extent possible, synthetic turf shall be minimized and shall include a minimum of one tree to reduce “heat-island” effect.

Commented [CC2]: Could change this word to “should.”

Exception: Synthetic turf used for recreational purposes such as ballfields.

vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

F. Completion of Required Landscaping for New Development

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

ii. Landscape Completion Agreement

Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

5.5.2 Alternate Landscape Plan

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Residential, Commercial, or Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan;
- Whether the plan considers water-wise landscape practices; and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

5.5.3 Landscape Requirements

A. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

Table 5.5-1 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped	Percentage of Landscaped Area Required to be Living Plant Material	Number of Internal Trees Required
Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks,	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.

and Travel Trailer and RV Parks	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%).	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%).	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

- i. Exceptions to Internal Landscaping Requirements
 - a. Developments with approved Alternate Landscape Plans.
 - b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

B. Street Trees/Roadway Landscaping

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

- i. Type A Development Exception

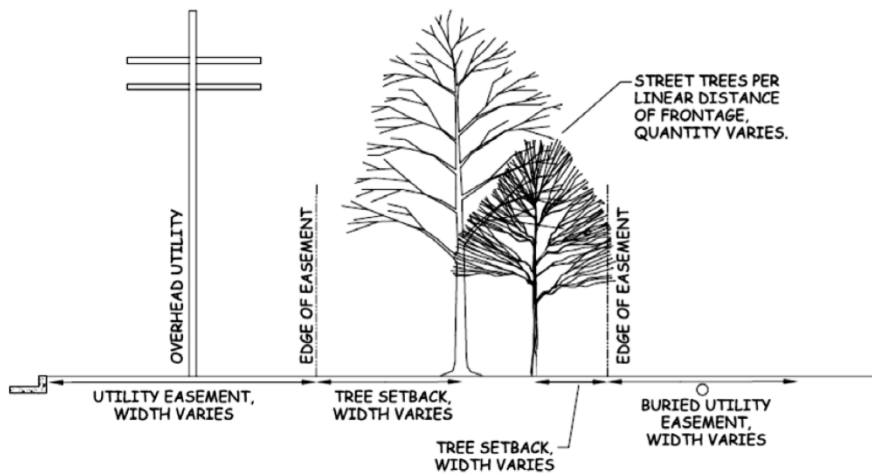
Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.
- ii. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-2 (see also Figure 5.5-2 below for an example of street tree setbacks).

Table 5.5-2 Street Tree Requirements

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

Figure 5.5-2: Example of street tree setbacks.



iii. Approved Street Tree Species

The use of any tree species not identified in Table 5.5-3 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the Parks and Recreation Director.

Table 5.5-3 Authorized Street Tree Species

Common Name	Botanical Name	Minimum Caliper Size/Height
Small Trees (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	Acer glabrum	<u>Broadleaf Trees</u> - All residential except multi-family residential = 1.5" caliper - Multi-Family Residential = 2" caliper - Business/Commercial and Industrial = 2.5" caliper
Norway Maple	Acer platanoides	
Shantung Maple	Acer truncatum	
Apple Serviceberry	Amelanchier x grandiflora	
Eastern Redbud	Cercis canadensis	
Cornelian Cherry	Cornus mas	
Russian Hawthorn	Crataegus ambigua	
Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	
Amur Maackia	Maackia amurensis	
Prairie Rose Crabapple (fruitless)	Malus ioensis	
China Snow Lilac	Syringa pekinensis	<u>Conifer Trees</u> Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Summer Charm Lilac	Syringa pekinensis	
Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	
Medium Trees		
Trident Maple	Acer buergeranum	<u>Broadleaf Trees</u> - All residential except multi-family residential = 1.5" caliper - Multi-Family Residential = 2" caliper - Business/Commercial and Industrial = 2.5" caliper
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	

Common Alder	Alnus glutiosa	NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	<u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Large Trees		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	<u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (Acer negundo)
- Siberian elms (Ulmus pumila)
- Any of the poplar (Populus) species including cottonwoods, poplars, and aspens
- Any willow (Salix) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (Fraxinus) species
- Walnut (Juglans) species

- Silver maple (*Acer saccharinum*),
- Freeman maple (*Acer x freemannii*)
- Sunburst honeylocust (*Gleditsia triacanthos inermis* 'Sunburst')
- Bradford pear (*Pyrus calleryana* 'Bradford')
- Mulberry (*Morus*) species
- Russian-olive (*Elaeagnus angustifolia*)
- Tree-of-heaven (*Ailanthus altissima*).

C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section except where adjacent to a similar lot.

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i. Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

ii. Parking Lot Buffering and Screening

a. Buffering from Rights-of-Way

Parking lots shall be buffered from adjacent public rights-of-way with a combination of plantings and landscaped berms. Any landscaping treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at full maturity.

b. Adjacent to Residential Uses

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fences or decorative walls.

D. Refuse Storage Screening

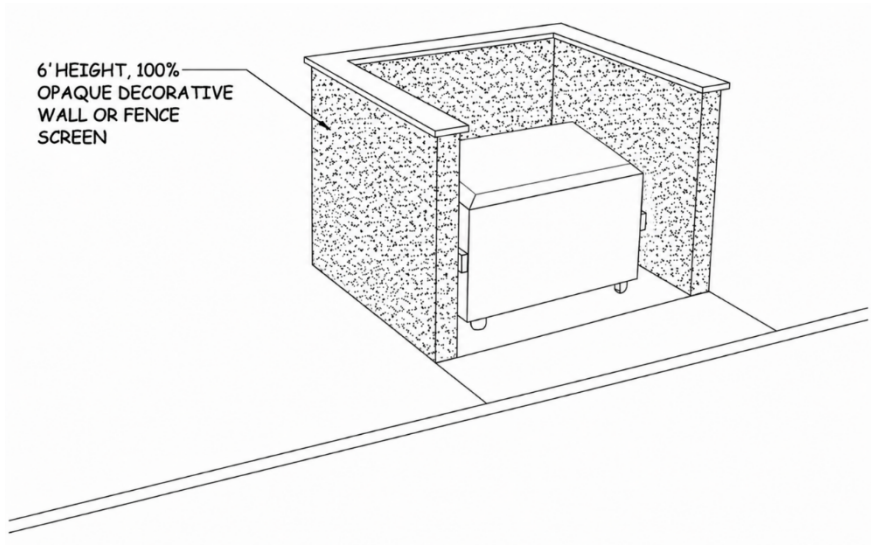
Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-3 below for an example of refuse storage screening).

i. Refuse Containers

Refuse container enclosures shall be surrounded on three (3) sides by a one hundred (100%) percent opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

Figure 5.5-3: Example of refuse storage screening.

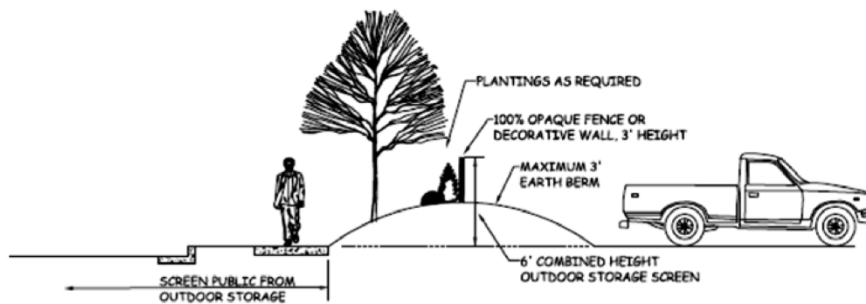
Commented [CC3]: Ask David to redraw this figure without the landscape buffer.



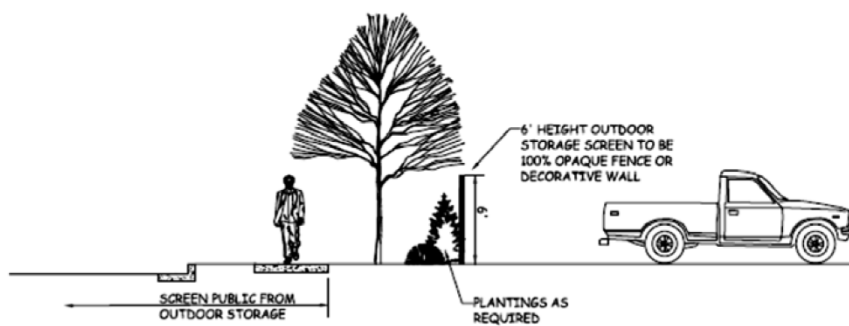
E. Outdoor Storage Screening (Commercial and Industrial)

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

Figure 5.5-4: Examples of outside storage screening.



OUTDOOR STORAGE SCREENING
WITH EARTH BERM



OUTDOOR STORAGE SCREENING
WITHOUT EARTH BERM

F. Commercial Buffering and Screening Requirements

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative walls.

G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque decorative screening walls.

i. Industrial Screening Fences, Walls, & Combinations

Screening fences or walls shall be at least six (6) feet in height. When using a combination of berms and fences or walls, the minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

H. Residential Landscaping Requirements

i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used for the planting and growing of trees, shrubs, gardens, and other water-wise ground covering or landscaping material approved by the City. Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged. Each single-family residential site plan shall provide for the planting of a minimum of one (1) tree. No other landscaping requirements shall apply to single-family residential uses.

ii. Multi-Family Residential Buffering Requirements

All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative walls.

I. Manufactured and Mobile Home Parks / Travel Trailer and RV Parks

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative screening walls.

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.

The City Council, in approving a Type B Development Plan, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

i. Landscaping Plan Required

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

iii. Internal Landscape Requirements

A minimum of ten (10%) percent of the gross site area shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

iv. Required Landscape Buffer

Manufactured and/or mobile home parks or travel trailer and RV parks abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer with a combination of plantings, landscaped earthen berms, and/or one hundred (100%) percent opaque fences and decorative screening walls.

v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Manufactured and/or mobile home parks or travel trailer and RV parks shall be buffered from adjacent public rights-of-way with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fences and decorative screening walls.

J. Irrigation and Maintenance

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health. Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

K. Obstructions Prohibited

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

PASSED AND APPROVED ON FIRST READING this 8th day of June, 2026.

PASSED AND APPROVED ON SECOND READING this _____ day of _____, 2026.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this _____ day of _____, 2026.

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

Published: _____

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

Devon Litzsinger, City Clerk



Agenda Item Report City Council – June 8, 2026

Item

Resolution No. 2026-19A: Agreement of Acceptance WYDOT Right-of-Way for Access to Seven Trails Commerce Center Amended

Responsible Staff Contact

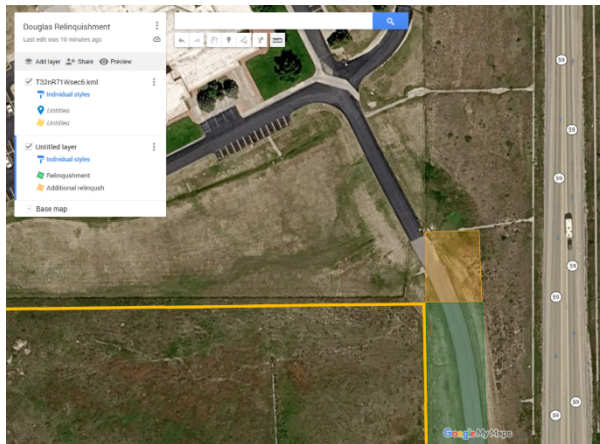
Clara Chaffin

Recommendation

Recommend approval of Resolution 2026-19A as presented.

Executive Summary

On April 13, 2026, Staff presented Resolution 2026-19 Agreement of Acceptance WYDOT Right-of-Way for Access to Seven Trails Commerce Center. Since that time, WYDOT Engineers have determined an additional portion of property needs to be added to the relinquishment in order to remove the entirety of the road from WYDOT ROW.



Resolution 2026-19A is an amendment to Resolution 2029-19 to accommodate the WYDOT request.

Background

Due to the upcoming development of commercial housing at Seven Trails Commerce Center, access is necessary from Highway 59 to be located at the already established access point for the Wyoming Law Enforcement Academy.

Staff and the applicant have worked with the Wyoming Department of Transportation (WYDOT) and recommend accepting a right-of-way dedication from WYDOT to facilitate access to the new commercial housing development. This right-of-way is strategically located to provide safe, efficient joint ingress and egress between the development, the Wyoming Law Enforcement Academy, and the adjacent transportation network, ensuring connectivity for residents, service providers, and emergency response.

Acceptance of the right-of-way will allow the City to establish and maintain a public access corridor that meets state and local design standards. The improved access will support increased housing availability, promote orderly growth, and enhance overall traffic circulation in the area. Coordination with WYDOT ensures that the access point is designed to minimize impacts on the state highway system while maximizing safety and long-term functionality.

This action aligns with the City's goals of addressing housing demand, supporting economic development, and investing in critical infrastructure. By formalizing access through this right-of-way acceptance, the City is taking a proactive step to remove development barriers and ensure the success of the commercial housing project.

Following approval of the Agreement of Acceptance, the transfer will go to Environmental Clearance (estimated 30+ days for approval) and then to FHWA (estimated 30 days for approval).

Alignment to Strategic Doing (SD) and/or Other Plans

Budget/Fiscal Impact

Action Requested/Recommended Motion

Recommend approval of Resolution 2026-19A as presented.

Attachments

1. Resolution 2026-19A Agreement of Acceptance

RESOLUTION NO. 2026-19A

AGREEMENT OF ACCEPTANCE

WYDOT RIGHT-OF-WAY FOR ACCESS TO SEVEN TRAILS COMMERCE CENTER AMENDED

WHEREAS, the City of Douglas, a municipal corporation of the State of Wyoming, (hereinafter referred to as “City”) whose address is 101 N. Fourth Street P.O. Box 1030 Douglas, WY 82633, deems that it would be in the best interest of the public, that a certain portion of the highway right-of-way of the Transportation Commission of Wyoming Project No. SCPF-043-1(6), become a necessary and desirable extension of said City system.

Said portion of highway right-of-way being more particularly described in the Northeast Quarter of Section 7, Township 32 North, Range 71 West, of the 6th Principal Meridian and Described by Metes and Bounds as Follows (Exhibit “A”):

COMMENCING AT NORTH EAST CORNER OF SAID SECTION 7, THENCE S15°10'47"W A DISTANCE OF 644.30 FEET TO A FOUND RIGHT OF WAY MONUMENT, ALSO BEING THE POINT OF BEGINNING; THENCE S88°41'02"W A DISTANCE OF 99.96 FEET TO A FOUND RIGHT OF WAY MONUMENT; THENCE N00°45'01"W A DISTANCE OF 191.32 FEET TO A FOUND RIGHT OF WAY MONUMENT; THENCE N00°16'04"W A DISTANCE OF 762.50 FEET TO A FOUND IRON ROD; THENCE N00°17'10"W A DISTANCE OF 106.09 FEET TO A POINT; THENCE N89°42'50"E A DISTANCE OF 99.95 FEET TO A POINT; THENCE S00°17'11"E A DISTANCE OF 106.09 FEET TO A POINT; THENCE S00°16'04"E A DISTANCE OF 762.50 FEET TO A POINT; THENCE S00°45'01"E A DISTANCE OF 189.52 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID AREA OF LAND CONTAINS 2.43 ACRES MORE OR LESS.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DOUGLAS, WYOMING, that upon relinquishment by the Transportation Commission of Wyoming of the above-described portion of highway, said City will assume all responsibility thereof, in accordance with the provisions of W.S. 24-3-126.

PASSED, APPROVED, AND ADOPTED this 8th day of June, 2026.

In Witness whereof, this relinquishment is accepted by the City of Douglas, Wyoming, this 8th Day of June, 2026, to-wit:

City Council of Douglas, Wyoming,

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

ACKNOWLEDGEMENT

THE STATE OF WYOMING)
 §
COUNTY OF CONVERSE)

The foregoing instrument was acknowledged before me this 8th day of June, 2026, by Clara Chaffin, Community Development Director of the City of Douglas, a municipal corporation of the State of Wyoming.

Witness my hand and official seal.
My commission expires January 4, 2031.

NOTARY PUBLIC

LEGAL DESCRIPTION

THE FOLLOWING IS A DESCRIPTION FOR RIGHT OF WAY RELINQUISHMENT OF STATE HIGHWAY 59 LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 6 AND THE NE 1/4 NE 1/4 OF SECTION 7, TOWNSHIP 32 NORTH, RANGE 71 WEST, OF THE 6TH PRINCIPAL MERIDIAN AND DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

RIGHT OF WAY RELINQUISHMENT:

COMMENCING AT THE NORTH EAST CORNER OF SAID SECTION 7, THENCE S15°10'47"W A DISTANCE OF 644.30 FEET TO A FOUND RIGHT OF WAY MONUMENT, ALSO BEING THE POINT OF BEGINNING (POB); THENCE S88°41'02"W A DISTANCE OF 99.96 FEET TO A FOUND RIGHT OF WAY MONUMENT; THENCE N00°45'01"W A DISTANCE OF 191.32 FEET TO A FOUND RIGHT OF WAY MONUMENT; THENCE N00°16'04"W A DISTANCE OF 762.50 FEET TO A FOUND IRON ROD; THENCE N00°17'10"W A DISTANCE OF 106.09 FEET TO A POINT; THENCE N89°42'50"E A DISTANCE OF 99.95 FEET TO A POINT; THENCE S00°17'11"E A DISTANCE OF 106.09 FEET TO A POINT; THENCE S00°16'04"E A DISTANCE OF 762.50 FEET TO A POINT; THENCE S00°45'01"E A DISTANCE OF 189.52 FEET MORE OR LESS TO THE POINT OF BEGINNING.

SAID AREA OF LAND CONTAINS 2.43 ACRES MORE OR LESS.

BASIS OF BEARINGS:

EAST LINE OF SECTION 7 BEING MONUMENTED BY FOUND BRASS CAPS AT THE NORTHEAST AND SOUTHEAST CORNERS OF SECTION 7 BEARING S00°13'22"E AT A DISTANCE OF 5325.62 FEET WITH ALL BEARINGS HEREON RELATIVE THERETO.



CHECKED BY: JW	DATE PLOTTED: May 21, 2026
JOB NO: 5042	DRAWN BY: CP
FOUNDATIONS • PLANNING • SOLUTIONS	

EXHIBIT 'A'
RIGHT OF WAY RELINQUISHMENT
SITUATED IN THE SOUTH 1/2 OF LOT 1 OF SECTION 6 AND THE NE 1/4 NE 1/4 OF SECTION 7, T32N, R71W, OF THE 6TH P.M. CONVERSE COUNTY, WYOMING
PREPARED MAY 2026
PAGE 2 OF 2



Agenda Item Report

City Council – June 8, 2026

Item

Appointment: Magdelyn Rasmussen to the Arts & Culture Board of Trustees

Responsible Staff Contact

Clara Chaffin

Recommendation

Staff recommends appointing Magdelyn Rasmussen to the Arts & Culture Board of Trustees for a three-year term beginning July 1, 2026.

Executive Summary

The City has received a volunteer application from Magdelyn Rasmussen for the Arts & Culture Board of Trustees (attached). Currently, the Board has two vacant positions, both of which expire on June 30, 2026.

Background

Alignment to Strategic Doing (SD) and/or Other Plans

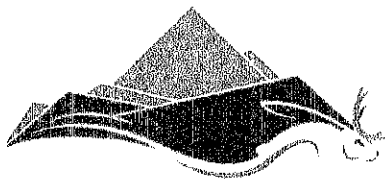
Budget/Fiscal Impact

Action Requested/Recommended Motion

Move to approve appointment of Magdelyn Rasmussen to the Arts & Culture Board of Trustees for a three-year term beginning July 1, 2026.

Attachments

1. Volunteer Application - Magdelyn Rasmussen to ACBT



CITY OF **DOUGLAS** WYOMING
HOME OF THE JACALOPES

Volunteer Application

Return to: 101 N. 4th Street / P.O. Box 1030
Douglas, WY 82633
307-358-3462, Fax: 307-358-6447

Name of Applicant: Magdelyn Rasmussen

Address: 776 Green River Ct. City/State/Zip: Douglas, WY 82633

Mailing Address (if different from above): _____

Home Phone:	Cell Phone: 307 431 6500	Work Phone:	Email: maggierose600@gmail.com
-------------	-----------------------------	-------------	-----------------------------------

1. Are you a resident of the City of Douglas? ☒ Yes ☐ No

2. I am interested in serving on the following Boards/Commissions (Please all that apply):

Boards/Commissions/Committees:

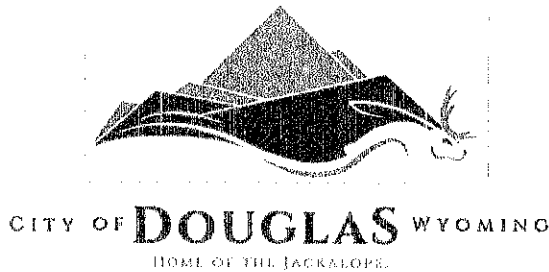
- ☐ Douglas Planning & Zoning Commission/Board of Adjustments
- ☐ Historic Preservation Commission
- ☐ Converse County Tourism Promotion Board
- ☐ Douglas Housing Authority Board
- ☐ Federal Urban Systems Advisory Committee
- ☐ Douglas Board of Appeals
- ☐ Steering Committee Member (when applicable)
- ☐ Focus Group Member (when applicable)
- ☐ Community Facility Task Force
- ☒ Arts & Culture Board of Trustees
- ☐ Recycling Task Force
- ☐ Other: _____

3. Have you served on any of these Boards/Commissions previously? ☐ Yes ☒ No

4. If "Yes", please indicate which Boards/Commissions and when you served: _____

5. In what community/communities did you previously serve? _____

Volunteer Application
Page 1 of 2



Volunteer Application

Return to: 101 N. 4th Street / P.O. Box 1030
Douglas, WY 82633
307-358-3462, Fax: 307-358-6447

6. In what position(s) would you be willing to serve? *(Please select all that apply.)*

- ☐ Chairperson
- ☐ Vice Chairperson
- ☐ Secretary
- ☐ Treasurer
- ☒ Board, Commission, or Committee member only

7. Do you understand the attendance requirements as provided per Douglas Municipal Code and/or the Bylaws of the Board or Commission you wish to serve on? ☒ Yes ☐ No

8. If "No", please provide a description of your question(s): _____

9. Why are you seeking this appointment(s)? I enjoy art and being involved/volunteering in the community.

I already attend events with the board and volunteer where I can. I also plan to attend art school once I complete my accounting degree.

I feel being involved will help expose me to more art and help get to know other people in the community that share interests with.

Signature of Applicant

5/25/26

Date

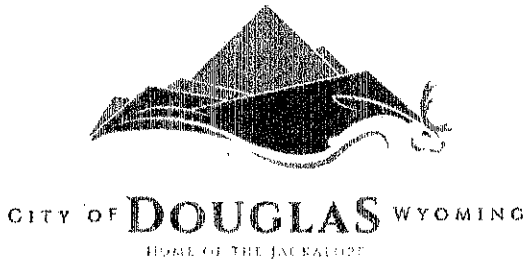
For Office Use Only:

Selected for: _____

Length of Term/Dates: _____

Additional Information: _____

Volunteer Application
Page 2 of 2



**Arts & Culture
Board of Trustees
Applicant Questionnaire**

Return to: 101 N. 4th Street / P.O. Box 1030
Douglas, WY 82633
307-358-3462, Fax: 307-358-6447

Name of Applicant: Magdelyn Rasmussen

This questionnaire will be utilized by the City Council in their selection process for the City of Douglas Arts & Culture Board of Trustees. Please answer as honestly and fully as possible. Feel free to use additional pages if needed.

- 1) What is your background in the field of Arts & Culture? Do you have experience in Public Arts & Cultural programming or events?

I have studied art throughout high school and plan to attend art school once I graduate with my Accounting degree. I mentored under Josh Butts and helped with the creation of the mural at the Railroad Museum/Visitor Center. I have been volunteering at the Arts & Culture board events and many other community events. For 3 years I have been helping with the planning, design and Haunted Train cars since their inception. I really enjoy volunteering in the community, especially when it is related to art.

- 2) How do you feel your experience would be beneficial to the board and to the community of Douglas?

More volunteering and even though I'm young I might bring a different perspective.

- 3) What draws your interest to being a part of the City of Douglas Arts & Culture Board of Trustees?

I love art! I thought it would be a great place to volunteer and be a learning experience.

4) How do you envision your role as a part of the Board of Trustees?

Helping out wherever I can to help beautify the community and inspire art.

5) What is your experience, if any, with financial planning and organization?

I am working on my Accounting Degree. Helped organize community events.

6) Is there any additional information you would like to share that would be important for the City Council to consider during the selection process for the Arts & Culture Board of Trustees?

Thank you for your time and consideration. I can answer any other questions you have.

Staff Comments: _____

Staff Recommendation: _____



Agenda Item Report

City Council – June 8, 2026

Item

Municipal Judge Services Contract: City of Douglas, Wyoming and H. Rick Hollon

Responsible Staff Contact

Michele Carter

Recommendation

Executive Summary

Current Municipal Court Judge H. Rick Hollon is requesting a renewal of his contract as the Municipal Court Judge for either one (1) or two (2) years, with a preference of two (2) years. His current contract expires on June 30, 2026.

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
SD Outcome KPI
2014 Master Plan
2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Recommend approval of the contract for Municipal Judge Services with Rick Hollon for one (1) or two (2) years.

Attachments

1. Hollon Letter
2. Municipal Judge Amendment 06-2026

H. RICK HOLLON
ATTORNEY AT LAW
227 S. 2nd STREET
DOUGLAS, WYOMING 82633

TELEPHONE
(307) 359-3325

May 8, 2026

Mayor and City Council
and
Michele Carter – Interim City Manager
City of Douglas
101 N. Fourth Street
P.O. Box 1030
Douglas, WY 82633

Dear Mayor, City Council Members, and Interim City Manager:

I have served as the Municipal Court Judge for the City of Douglas since June 1, 2015. My current one (1) year contract with the City will expire on June 30, 2026.

I would like to renew or extend my contract to serve as Municipal Court Judge for either another one (1) or two (2) years (by either an amendment to the current contract or a new contract). My preference would be two (2) years, although I would also agree to one (1) year. I am honored and privileged to serve the City of Douglas and its citizens/residents in this capacity.

I propose that my current salary as Municipal Court Judge of \$1,400 per month remain the same in the new (or amended) contract.

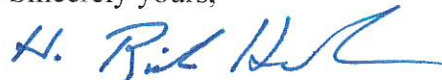
I keep track of the amount of time each month that I work as the Municipal Court Judge (both in court and outside of court). Over the last ten months (July 2025 through April 2026) I have averaged 15.61 hours per month (up slightly from 15.16 in July 2023 through April 2025).

At my current monthly salary of \$1,400, on an hourly basis, that is \$89.68 per hour.

In addition to the hours referenced above, on April 29 through May 1, 2026 I attended and participated in the three (3) day Wyoming Conference of Municipal Courts (as I do each spring).

Thank you for your consideration.

Sincerely yours,



H. Rick Hollon
Attorney At Law/
Municipal Court Judge

HRH/mml

**CONTRACT BETWEEN
CITY OF DOUGLAS, WYOMING AND
H. RICK HOLLON
FOR MUNICIPAL JUDGE SERVICES**

1. Parties. This Contract is made and entered into this 8th day of June, 2026, by and between City of Douglas, Wyoming, a Wyoming municipal corporation (hereinafter referred to as “City”), whose address is 101 N. 4th Street, P.O. Box 1030, Douglas, WY 82633, and H. Rick Hollon (hereinafter referred to as “Judge”), whose address is 227 South 2nd Street, Douglas, Wyoming..

2. Purpose of Contract. The purpose of this Contract is to create an at-will employer-employee relationship for H. Rick Hollon to serve as municipal judge for the City. The parties understand and agree that nothing in this Contract, nor any actions or understandings of the parties shall be interpreted or deemed to create an expectation of continued employment. The parties also understand and agree that Judge shall be deemed an at-will employee. In consideration of the matters described above, and of the mutual benefits and obligations set forth in this Contract, the parties agree as follows:

3. Term of Contract. The effective term of the Contract is from July 1, 2026, through **June 30, 2027**, unless this Contract is otherwise terminated pursuant to the termination provision contained in Paragraph 6.8 contained within this Contract. This Contract may be renewed by agreement of both parties in writing, subject to the required approvals. There is no right or expectation of renewal and any renewal will be determined at the discretion of City.

4. Payment. Judge shall expend between five (5) and twenty (20) hours per month acting as municipal judge to City. City agrees to pay Judge a flat salary of \$1,400 per month. As a contract employee, Judge shall be entitled to worker’s compensation while acting as judge of the municipal court. Judge shall not be entitled to any further City benefits, including but not limited to vacation and sick time, retirement and health and life insurance coverage.

5. Responsibilities of Judge. Judge shall preside over the Douglas City Municipal Court and will have the jurisdiction to fine, enter judgment, sentence, and imprison for all cases arising under the Ordinances of the City of Douglas. Judge shall at all times remain an “active” member in good standing with the Wyoming State Bar and shall comply with the Wyoming Rules of Professional Responsibility and the Wyoming Code of Judicial Conduct, as both are amended from time to time.

6. General Provisions.

6.01. Amendments. Any changes, modifications, revisions or amendments to this Contract which are mutually agreed upon by the parties to this Contract shall be incorporated by written instrument, executed and signed by all parties to this Contract.

6.02. Applicable Law/Venue. The construction, interpretation and enforcement of this Contract shall be governed by the laws of the State of Wyoming. The Courts of the State of Wyoming shall have jurisdiction over this Contract and the parties, and the venue shall be the Eighth Judicial District, Converse County, Wyoming.

6.03. Compliance with Laws. Judge shall keep informed of and comply with all applicable federal, state and local laws and regulations in the performance of this Contract.

6.04. Entirety of Contract. This Contract represents the entire and integrated Contract between the parties and supersedes all prior negotiations, representations, and agreements, whether written or oral.

6.05. Force Majeure. Neither party shall be liable for failure to perform under this Contract if such failure to perform arises out of causes beyond the control and without the fault or negligence of the nonperforming party. Such causes may include, but are not limited to, acts of God or the public enemy, fires, floods, epidemics, quarantine restrictions, freight

embargoes, and unusually severe weather. This provision shall become effective only if the party failing to perform immediately notifies the other party of the extent and nature of the problem, limits delay in performance to that required by the event, and takes all reasonable steps to minimize delays. This provision shall not be effective unless the failure to perform is beyond the control and without the fault or negligence of the nonperforming party.

6.6. Ownership of Documents/Work Product. All documents, reports, records, field notes, materials, and data of any kind resulting from performance of this Contract are at all times the property of City.

6.7. Sovereign Immunity. City does not waive sovereign immunity by entering into this Contract and specifically retain immunity and all defenses available to City as a sovereign pursuant to Wyo. Stat. § 1-39-104(a) and all other state law.

6.8. Termination of Contract. This Contract may be terminated, without cause, by either party upon thirty (30) days written notice. This Contract may be terminated immediately for cause if Judge fails to perform in accordance with the terms of this Contract. City must have a majority of the membership of City Council votes to terminate this Contract.

6.9. Third Party Beneficiary Rights. The parties do not intend to create in any other individual or entity the status of third party beneficiary, and this Contract shall not be construed so as to create such status. The rights, duties and obligations contained in this Contract shall operate only between the parties to this Contract, and shall inure solely to the benefit of the parties to this Contract. The provisions of the Contract are intended only to assist the parties in determining and performing their obligations under this Contract. The parties to this Contract intend and expressly agree that only parties signatory to this Contract shall have any legal or equitable right to seek to enforce this Contract, to seek any remedy arising out of a party's performance or failure to perform any term or condition of this Contract, or to bring an action for the breach of this Contract.

6.10. Kickbacks. Judge certifies and warrants that no gratuities, kickbacks or contingency fees were paid in connection with this Contract, nor were any fees, commissions, gifts, or other considerations made contingent upon the award of this Contract. If Judge breaches or violates this warranty, City may, at its discretion, terminate this Contract without liability to City, or deduct from the contract price or consideration or otherwise recover, the full amount of any commission, percentage, brokerage, or contingent fee.

6.11. Notices. All notices arising out of, or from, the provisions of this Contract shall be in writing and given to the parties at the address provided under this Contract, either by regular mail, facsimile, e-mail or delivery in person.

6.12. Nondiscrimination. Judge shall comply with Presidential Executive Order 11246 entitled, "Equal Employment Opportunity," as amended by Presidential Executive Order 11375, and as supplemented in the Department of Labor Regulations (41 CFR Part 60), the Civil Rights Act of 1964, the Wyoming Fair Employment Practices Act (Wyo. Stat. § 27-9-105 et seq.), and the Americans With Disabilities Act (ADA), 42 U.S.C. 12101, et seq. Judge shall assure that no person is discriminated against based on the grounds of sex, race, religion, national origin or disability in connection with the performance of this Contract.

6.13. Americans with Disabilities Act. Judge shall not discriminate against a qualified individual with a disability and shall comply with the Americans with Disabilities Act, P.L. 101-336, 42 U.S.C. 12101, et seq., and/or any properly promulgated rules and regulations related thereto.

6.14. Assignment. Neither party shall assign or otherwise transfer any of the rights or delegate any of the duties set forth in this Contract without the prior written consent of the other party.

6.15. Severability. Should any portion of this Contract be judicially determined to be illegal or unenforceable, the remainder of this Contract shall continue in full force and effect and either party may attempt to renegotiate the terms affected by the severance

6.16. **Time is of the Essence.** Time is of the essence in all provisions of the Contract.

6.17. **Titles Not Controlling.** Titles of paragraphs are for reference only, and shall not be used to construe the language in this Contract.

6.18. **Waiver.** The waiver of any breach of any term or condition in this Contract shall not be deemed a waiver of any prior or subsequent breach.

IN WITNESS WHEREOF, the City Council has caused this Contract to be signed and executed in its behalf by its Mayor, and duly attested by its City Clerk, and Judge has signed and executed this Contract, the day and year first written above.

CITY OF DOUGLAS, WYOMING

By: _____
Kim Pexton, Mayor

Attest: _____
Devon Litzsinger, City Clerk

By: _____
H. Rick Hollon



Agenda Item Report City Council – June 8, 2026

Item

112: Change Order No. 3

Responsible Staff Contact

John Harbarger

Recommendation

Approval of Change Order No. 3 in the amount of \$4,140 is recommended.

Executive Summary

Change order number 3 covers additional costs to repair issues/concerns with the existing bricks on the adjacent buildings. While the contractor was on-site patching holes where the old floor joists and framing tied into the adjacent buildings, they noticed a gap between brick layers. The existing bricks will be repainted with a sealant; however, this gap is too large to seal with the sealant alone. Water will be able to penetrate through this gap and cause damage to the existing bricks. The contractor recommended sealing this gap with a mortar wash prior to installing the sealant to prevent further damage. Additionally, the contractor noticed that several of the existing bricks on the corner of the Banner Health Building were loose and additional work is necessary to secure these bricks. Three (3) additional calendar days were requested for the additional work associated with this change order. The change order amount is \$4,140 for labor and materials to install a mortar wash on the brick ledge above 307 signs to keep water out between the bricks, and to secure corner of banner health building as the corner was loose.

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment

SD Commitment Strategy

SD Commitment KPI

SD Outcome Priority #3 Economy

SD Outcome Strategy S2 Develop Attractive Community & Vibrant Downtown

SD Outcome KPI ECON-02 The 112: Complete structural stabilization and engage public regarding future use.

2014 Master Plan

2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department Economic Development - The 112

Project/Line Item(s) 41-5411-158 Misc Contractual Services

Budgeted Amount \$1,433,300

Anticipated Amount \$4,140 (**Original Contract Amount:** \$351,258.00, **Previous Change Order Amounts:** \$41,967, **Change Order No. 3 Amount:** \$4,140, **New Contract Amount:** \$397,365)

Action Requested/Recommended Motion

Approve Change Order No. 3 in the amount of \$4,140.

Attachments

1. The 112 - Change Order 3



Memorandum

Date: June 3rd, 2026
To: Clara Chaffin
Cc: John Harbarger

From: Nick Larsen, CEPI
WO #: 25-2017 112 N. 2nd St. Façade Removal & Lot Infill
Subject: Change Order No. 3

Enclosed is Change Order No. 3 for your review and approval. This change order covers additional costs to repair issues/concerns with the existing bricks on the adjacent buildings. While the contractor was on-site patching holes where the old floor joists and framing tied into the adjacent buildings, they noticed a gap between brick layers. The existing bricks will be repainted with a sealant; however, this gap is too large to seal with the sealant alone. Water will be able to penetrate through this gap and cause damage to the existing bricks. The contractor recommended sealing this gap with a mortar wash prior to installing the sealant to prevent further damage. Additionally, the contractor noticed that several of the existing bricks on the corner of the Banner Health Building were loose and additional work is necessary to secure these bricks.

Three (3) additional calendar days were requested for the additional work associated with this change order.

Please contact me with any questions.

CITY OF DOUGLAS
CHANGE ORDER

NO. 3

PROJECT: 112 N. 2nd St Facade Removal & Lot Infill Project DATE OF ISSUANCE: 5/29/2026

OWNER: City of Douglas

CONTRACTOR: Falcon Construction LLC

ENGINEER: Civil Engineering Professionals, Inc

You are directed to make the following changes in the Contract Documents:

Description: Mortar wash on brick ledge; secure corner of Banner Health Building

Attachments:

Contractor's change order request and Memo

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIME
Original Contract Price: \$351,258.00	Original Contract Time: Substantial Completion: May 1, 2026 Final Completion: May 29, 2026
Cost of Previous Change Orders: \$41,967.00	Net change from previous Change Orders (days): 11
Contract Price prior to this Change Order: \$393,225.00	Contract Time Prior to this Change Order: Substantial Completion: May 12, 2026 Final completion: June 9, 2026
Net Increase/ Decrease of this Change Order: \$4,140.00	Net Increase/ Decrease of this Change Order: Substantial = 3 calendar days Final = 3 calendar days
Contract Price with all approved Change Orders: \$397,365.00	Contract Time with all approved Change Orders: Substantial completion: May 15, 2026 Final completion: June 12, 2026

ACCEPTED:

RECOMMENDED:

APPROVED:

BY: Stephanie

Contractor

BY: Nicholas Larson

Engineer

BY: _____

Owner



Falcon Construction
PO Box 7280
Gillette, Wyoming, 82716

C.O. 112N2 -005
Date: 05/26/2026

Change Order Request

Prepared For: City of Douglas

Change Order Description	Qty	Units	Rate	Total
Extra Brick Work				
Labor and materials to install a mortar wash on the brick ledge above 307 signs to keep water out between the bricks, and to secure corner of banner health building as corner was loose	1	LS	\$4,140.00	\$4,140.00
				\$4,140.00

Original Contract Price		\$393,255.00
Change Order Price Increase/Decrease	+	\$4,140.00
New Contract Price including Change Order		\$397,395.00

Client Signature	Approval Date
<i>Josh Hoem</i>	5/26/2026
Representative, Falcon Construction	Approval Date



Agenda Item Report City Council – June 8, 2026

Item

Special Call Meeting: June 15, 2026, 11 AM, City Council Chambers, 101 N 4th St

Responsible Staff Contact

Recommendation

Executive Summary

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
SD Outcome KPI
2014 Master Plan
2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Attachments

None



Agenda Item Report

City Council – June 8, 2026

Item

Converse County Joint Justice Center Joint Powers Board Meeting: June 18, 2026, 9 AM, Converse County Courthouse

Responsible Staff Contact

Recommendation

Executive Summary

Background

Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment
SD Commitment Strategy
SD Commitment KPI
SD Outcome
SD Outcome Strategy
SD Outcome KPI
2014 Master Plan
2015 Downtown Master Plan

Budget/Fiscal Impact

Fund/Department
Project/Line Item(s)
Budgeted Amount
Anticipated Amount

Action Requested/Recommended Motion

Attachments

None



EVENTS



- Unearth a Story
June 11, 4P
Converse County Library
- Ride, Row, Run
June 13, 7A
Wy State Fairgrounds
- Douglas Community Awards
June 14, 5P
MHCC
- Park It! Food Truck Festival
June 11, 5P
Railroad Museum
- Introverts Book Club
June 13, 8A
Blend
- Patriotic Wood Signs
June 16, 6P
Converse County Library
- Community Mural Project
June 11, 5P
Railroad Museum
- Jackalope Days Vendor Fair
June 13, 9A
Jackalope Square
- Bee Water Station Making
June 18, 11A
Camp Douglas
- Jackalope Days
June 12-14
Downtown Douglas
- Knight Cruisers Car Show
June 13, 9A
Downtown Douglas
- Sushi Making
June 19, 6P
Converse County Library
- Railroad Day
June 12, 11A
Railroad Museum
- Jackalope Days Book Crawl
June 13, 9A
Downtown Douglas
- Japanese Cultural Workshop
June 20, 10A
Converse County Library
- Wyoming Walks
June 12, 3P
Railroad Museum
- Big Summer Block Party 2026
June 14, 4P
MHCC

More information available at:

<https://www.seewhatconversecando.com/calendar/>

<https://douglas.brighttravel.com/events>

All Events Are Subject To Change