



CITY OF **DOUGLAS** WYOMING

**REGULAR CITY COUNCIL MEETING  
June 22, 2026 – 4:00 PM**

Thank you for your cooperation in facilitating the public meeting process!

\*\*Reasonable accommodations for persons with disabilities who wish to participate in this public meeting shall be made upon request to the City Manager, at 307-358-3462\*\*

\*\*Council meetings are broadcast live on Cable Channel 9 and streaming live on the City of Douglas website\*\*

1. **Call to Order, Roll Call, and Pledge of Allegiance**
2. **Disclosures by City Council Members**
3. **Approval of General Agenda (Corrections or Additions)**
4. **Leadership Moment**
5. **Public Comments**
6. **Approval of Consent Docket**
  - a. **Minutes**

**Regular City Council Meeting: June 8, 2026**  
**Special City Council Meeting: June 11, 2026**
  - b. **Other – Consent**

**Ordinance 1071: An Ordinance Amending Section 8.08.010 Fireworks Prohibitions, 3rd Reading**
7. **Presentations**
  - a. **Eagle Scout Presentation: Garrett Kittelson (10 Minutes)**
8. **Discussion Items**
  - a. **Ordinance 1053: Signs (Perry Hershberger)**

- b. **Council Meetings: Time**
  - c. **America 250: Itty-Bitty Committee Update**
9. **Public Hearing**
- a. **Resolution 2026-29: A Resolution Changing the Zoning of Riverview Addition, Block 1, East 75.2 Feet of Lot 1 From R-2 Medium Density Residential to I Industrial Zone**
10. **Tabled Items**
- a. **Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening**
11. **Council Action Items**
- a. **Resolution 2026-30: A Resolution of the City of Douglas, Wyoming, Prohibiting the Ignition, Discharge, Sale, Possession for Use, and Use of Fireworks Otherwise Permitted Under Chapter 8.08 of the Douglas Municipal Code Upon the Effective Date of Ordinance No. 1071**
  - b. **Resolution 2026-31: A Resolution Setting Charges and Maintaining an Automatic Inflationary Measure for the Municipal Water, Sewer, Sanitation Collection, and Solid Waste Disposal Systems for the City of Douglas, Wyoming, Effective July 1, 2026.**
  - c. **Appointment: Converse County Tourism & Promotion Board**
12. **Financial Report**
- a. **Financial Report: May 2026**
13. **Public Comments**
14. **Council Information**
- a. **Minutes: Planning & Zoning Commission June 15, 2026**
  - b. **Notice of Possible Quorum: June 26, 2026, 6:30 pm, 300 Walnut Street**
  - c. **Notice of Possible Quorum: June 27, 2026, 8:45 am, 101 N th St**
  - d. **Notice of Possible Quorum: July 9, 2026, 7 am, 206 Walnut St**
  - e. **5th Penny: Approved by Commissioners and placed on ballot for General election**
15. **Circle Back Recap**

**16. Good People Doing Good Things**

**17. Community Update**

**a. Event Calendar**

**18. Executive Session**

**19. Adjourn**

Monday, June 22, 2026

Call to Order at:

Meeting Adjourned at:

City Council Regular Minutes  
June 8, 2026

**1. Call to Order, Roll Call, and Pledge of Allegiance**

Mayor Pexton called the meeting to order at approximately 4:00 p.m. Roll call was taken with the following City Council members present: Kim Pexton, Ron McNare, Matthew Schmidt, Joel Weeks. Perry Hershberger attended via Teams.

Also present: Michele Carter, Interim City Manager/Human Resources Director; Mike Armstrong, City Attorney; Clara Chaffin, Community Development Director; Devon Litzinger, City Clerk; Avery Cowardin, Sergeant; John Harbarger, Public Works Director; Mary Nicol, Administrative Services Director/Treasurer; Brandon Frye, Parks and Recreation Director; and Linda Doane, Deputy City Clerk. Mayor Pexton led the assembly in the Pledge of Allegiance.

**2. Disclosures by City Council Members**

None.

**3. Approval of General Agenda (Corrections or Additions)**

Councilmember Weeks moved to approve the general agenda as presented. Seconded by Councilmember Schmidt. Motion carried 5-0.

**4. Leadership Moment**

Mayor Pexton provided an inspiration speech.

**5. Public Comments**

Doyle Davis requested leaving the stop sign permanently at the corner of Center and 5th St. He also stated he appreciates the construction and pool updates and likes when they are fun. Weston Herring commented about dogs barking at a local business. Mike Hollenback questioned the Seven Trails development asking about cost increases for water/sewer/sanitation services, asking if the City is paying for the infrastructure, and if there will be a tax hike due to the operating costs of the community center.

**6. Approval of Consent Docket**

Councilmember Schmidt moved to approve the consent docket as presented. Seconded by Councilmember McNare. Motion carried 5-0.

**a. Minutes**

**City Council Special Call Meeting/Work Session: May 20, 2026**

**Regular City Council Regular Meeting: May 26, 2026**

**b. Bills & Claims**

## Warrant Register: May 2026

### 7. Presentations

#### a. **New Employee Introduction: Community Center Manager - Jacob Marcus**

Interim City Manager Carter introduced Jacob Marcus as the Community Center Manager.

#### b. **Proclamation: National Safety Month**

Councilmember McNare read a proclamation proclaiming June as National Safety Month.

### 8. Discussion Items

#### a. **Fire Restrictions & Fireworks Ordinance - Council Direction**

Interim City Manager Carter led a discussion.

### 9. Tabled Items

#### a. **Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening**

Director Chaffin provided an overview. Discussion followed. Residents Shea Burke, Rachel Hoffman, Mike Hollenback, Noah Milmont, and Westin Herring provided public comments on the proposed ordinance. No action taken. Item remained tabled.

### 10. Council Action Items

#### a. **Resolution No. 2026-19A: Agreement of Acceptance WYDOT Right-of-Way for Access to Seven Trails Commerce Center Amended**

Director Chaffin provided a report. Councilmember McNare moved to approve resolution 2026-19A as presented. Seconded by Councilmember Hershberger. Motion carried 3-2. Councilmembers Weeks and Schmidt voted against.

#### b. **Appointment: Magdelyn Rasmussen to the Arts & Culture Board of Trustees**

Director Chaffin provided a report. Council asked questions of Ms. Rasmussen. Councilmember Weeks moved to appoint Magdelyn Rasmussen to the Arts & Culture Board of Trustees for a three-year term beginning 1 July 2026. Seconded by Councilmember Schmidt. Motion carried 5-0.

**c. Municipal Judge Services Contract: City of Douglas, Wyoming and H. Rick Hollon**

Interim City Manager Carter provided a report. Councilmember McNare moved to approve the contract renewal for Municipal Court Judge for two years. Seconded by Councilmember Schmidt. Motion carried 5-0.

**d. 112: Change Order No. 3**

Director Chaffin provided an overview. Councilmember Weeks moved to approve change order no. 3 in the amount of \$4,140 and authorize the Interim City Manager to sign all associated documents. Seconded by Councilmember McNare. Motion carried 5-0.

**11. Public Comments**

None.

**12. Council Information**

Councilmember McNare questioned the amount of aid to other for Outdoor Enthusiasts of Converse County. Councilmember Hershberger exited the meeting.

**a. Special Call Meeting: June 15, 2026, 11 AM, City Council Chambers, 101 N 4th St**

**b. Converse County Joint Justice Center Joint Powers Board Meeting: June 18, 2026, 9 AM, Converse County Courthouse**

**13. Circle Back Recap**

City Clerk Litzsinger provided the circle back recap.

**14. Good People Doing Good Things**

Director Chaffin updated council on Wyoming Business Council SLIB grant received in the amount of \$5.7 million.

**15. Community Update**

**a. Event Calendar**

A video highlighting upcoming events was played.

**16. Executive Session**

Councilmember McNare moved that the council adjourn into executive session for the purpose of considering the appointment, employment, right to practice, dismissal, complaints or charges against a public officer, professional person or employee, in accordance with W.S. §16-4-405(a)(ii). Seconded by

Councilmember Schmidt. Motion carries 4 to 0.

**17. Adjourn**

Meeting adjourned into executive session at approximately 5:07 pm.

Kim Pexton, Mayor

ATTEST:

Devon Litzsinger, City Clerk  
Published: June 17, 2026

City Council Special Minutes  
June 11, 2026

**1. Call to Order, Roll Call, and Pledge of Allegiance**

Mayor Pexton called the meeting to order at approximately 11:00 a.m. Roll call was taken with the following City Council members present: Kim Pexton, Ron McNare, Joel Weeks. Also present: Michele Carter, Interim City Manager/Human Resources Director; Devon Litzsinger, City Clerk; Avery Cowardin, Sergeant; Linda Doane, Deputy City Clerk; and Rick Andrews, Fire Chief. Mike Armstrong, City Attorney, attended via TEAMS.

**2. Disclosures by City Council Members**

None.

**3. Approval of General Agenda (Corrections or Additions)**

Councilmember Weeks moved to approve the general agenda as presented. Seconded by Councilmember McNare. Motion carried 3-0.

**4. Council Action Items**

**a. Ordinance 1071: An Ordinance Amending Section 8.08.010 Fireworks Prohibitions**

Interim City Manager Carter provided an overview. Discussion followed. Fire Chief Andrews answered questions from council. Councilmember Schmidt joined the meeting. Citizens Noah Milmont, Mike Hagemann, and Logan Downs provided comments. Councilmember Weeks moved to approve Ordinance 1071 as presented on first reading. Seconded by Councilmember McNare. Motion carried 4-0.

**5. Adjourn**

Mayor Pexton called for a motion to adjourn the Special City Council Meeting. Councilmember Weeks moved to adjourn the Special City Council meeting of 11 June 2026. Seconded by Councilmember McNare. Motion carried 4-0. Meeting adjourns at approximately 11:20 a.m.

Kim Pexton, Mayor

ATTEST:

Devon Litzsinger, City Clerk  
Published: June 17, 2026



## Agenda Item Report City Council – June 22, 2026

### **Item**

**Ordinance 1071:** An Ordinance Amending Section 8.08.010 Fireworks Prohibitions, 3rd Reading

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

### **Action Requested/Recommended Motion**

### **Attachments**

1. 1071 - Fireworks Ordinance Amendment 6.9.2026

2. 1071 - 2nd Reading
3. 1071 - 3rd Reading
4. 1071 - Codification & Recording
5. 1071 - Publishing

ORDINANCE NO. 1071

AN ORDINANCE AMENDING SECTION 8.08.010 FIREWORKS PROHIBITIONS

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

Section 8.08.010 Prohibitions of the Douglas Municipal Code is hereby amended to add subsection (D) to read as follows:

(D) Notwithstanding any other provision of this section, the City Council may, by resolution, prohibit the ignition, discharge, or use of Novelty Consumer Fireworks within the corporate limits of the City for such period of time as the Council determines is necessary to protect the public health, safety, and welfare.

Upon adoption of such resolution, the use of any fireworks otherwise permitted under this chapter, including Novelty Consumer Fireworks, shall be prohibited within the City for the duration specified in the resolution. Notice of the prohibition shall be provided in a manner reasonably calculated to inform the public, including publication on the City's official website, social media platforms, or other customary means of public notice. Failure to receive actual notice shall not constitute a defense to a violation of this section.

PASSED AND APPROVED ON FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

PASSED AND APPROVED ON SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Kim Pexton, Mayor

Attest:

\_\_\_\_\_  
Devon Litzsinger, City Clerk

Published: \_\_\_\_\_

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

\_\_\_\_\_  
Devon Litzsinger, City Clerk

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PASSED AND APPROVED ON FIRST READING this 11th day of June, 2026.

PASSED AND APPROVED ON SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Kim Pexton, Mayor

Attest:

\_\_\_\_\_  
Devon Litzsinger, City Clerk

Published: \_\_\_\_\_

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**PASSED AND APPROVED ON FIRST READING** this 11th day of June, 2026.

**PASSED AND APPROVED ON SECOND READING** this 15th day of June, 2026.

**PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING** this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Kim Pexton, Mayor

**Attest:**

\_\_\_\_\_  
Devon Litzsinger, City Clerk

*Published:* \_\_\_\_\_

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**PASSED AND APPROVED ON FIRST READING this 11th day of June, 2026.**

**PASSED AND APPROVED ON SECOND READING this 15th day of June, 2026.**

**PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this 22nd day of June, 2026.**

\_\_\_\_\_  
Kim Pexton, Mayor

**Attest:**

\_\_\_\_\_  
Devon Litzsinger, City Clerk

*Published: July 1, 2026*

**ATTESTATION**

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

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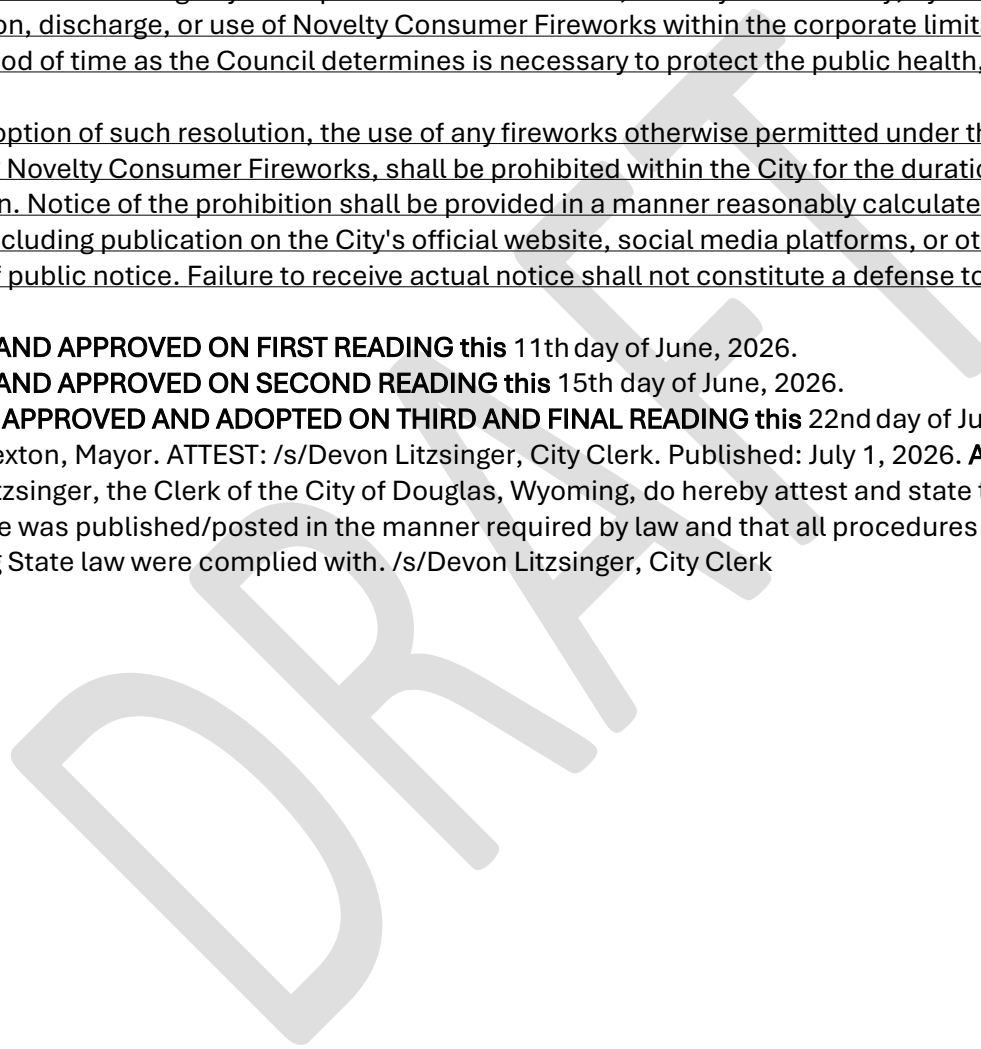
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**PASSED AND APPROVED ON FIRST READING** this 11th day of June, 2026.

**PASSED AND APPROVED ON SECOND READING** this 15th day of June, 2026.

**PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING** this 22nd day of June, 2026.

/s/Kim Pexton, Mayor. ATTEST: /s/Devon Litzsinger, City Clerk. Published: July 1, 2026. **ATTESTATION:** I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with. /s/Devon Litzsinger, City Clerk





## Agenda Item Report City Council – June 22, 2026

### Item

**Eagle Scout Presentation:** Garrett Kittelson (10 Minutes)

### Responsible Staff Contact

### Recommendation

### Executive Summary

Garrett is a Life Scout working towards his Eagle project to become an Eagle Scout. He is working on a project to place bike racks around the community with the support from the City of Douglas.

### Background

### Alignment to Strategic Doing (SD) and/or Other Plans

- SD Commitment
- SD Commitment Strategy
- SD Commitment KPI
- SD Outcome
- SD Outcome Strategy
- SD Outcome KPI
- 2014 Master Plan
- 2015 Downtown Master Plan

### Budget/Fiscal Impact

- Fund/Department
- Project/Line Item(s)
- Budgeted Amount
- Anticipated Amount

### Action Requested/Recommended Motion

### Attachments

1. bsa



# Boy Scout Eagle Project

By: Garrett Kittelson



- Hi my name is Garrett Kittelson,
- I am a Life Scout working towards my Eagle project to become an Eagle Scout. For my project I would like to raise money for 5 bike racks and place them in the community. Places I am thinking about are Plains Ice Cream Parlor, Jackalope Square, Mountain Bike Trail past the pool, The Douglas City Pool, and The Library. I would also like to include a plaque on each bike rack with a list of sponsors or their logo. I have several ideas where I think bike racks could be useful in our community. These are the 5 I chose to work on but there are many that could use a bike rack. I was thinking of placing a bike rack downtown where it can be centrally located like Jackalope Square. People could attend the movies, Bowling alley, events at Jackalope square and have a place for their bike to lock up to keep it safe. Other places I think would be good placement for a bike rack that could be placed later on is New Community Center, Keith Ryder Park, Washington Park near the playground equipment, River walking path near the middle school, Bartlin park, Football field and Baseball fields by the highschool. I want the bike racks to be bright and fun in our community. Last summer I went to attend some events, and my transportation was my bike and there was no place to keep my bike safe. I think placing bike racks in the community would encourage families to ride their bikes together, having a safe place for people who chose to ride their bikes and keep them safe once they arrive to their destinations. Installing bike racks promotes healthier active lifestyles, I would like start my project August 2026 and have it finished by October 2027.

# Ideas to place the bike racks

Jackalope square\*

Swimming pool\*

Ice Cream Parlor – Plains\*

Mountain Bike Trail\*

Library\*

Bartlin Park

Keith Ryder Park

Washinton Park

River Path down by the Middle school

Community Center

# Rough Estimate on cost for the bike racks

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- Pool – Fish \$350.00 - \$1500.00
  - Mountain Bike Trail – Mountains - \$500.00 - \$2500.00
  - Ice Cream Parlor – Ice Cream Cones - \$600 - \$1200
  - Library – Book Worm - \$700.00 - \$3500.00
  - Jackalope Square – Maybe a Jackalope or Buffalo
  - Total \$10,000.00
- 
- Estimate for installing a bike rack
  - 1 to 3 months
  - Site prep if a slab needs poured few weeks
  - Install 30 to 60 minute per bike rack



- I am planning on talking to local welders to see if they will help me with my project come to life and maybe cut down on the cost some.





# Ways to raise money for my Eagle Project

- Grants – Main Street and City of Douglas, Art Board
- Grant through Rails to Trails
- Boyscout troop 1026 gives each boy \$250.00 towards their project
- Raffle off 2 to 4 quilts
- Sponsor letters
- Meatbundle - Raffle

# Statics

- How many bikes are stolen each year in Douglas Wyoming?
- Around 10 bikes per year.
- Some are reunited with their owner and some are not.
- Having a bike rack increases safety by preventing bikes from blocking walkways, boost local businesses



# Supplies

Paper

Envelopes

Stamps

Bolts and nuts

Tools – borrow

Permit – City

Tickets – raffle

Sponsor letters

Plaques for bike racks

City to help install the bike racks

## Bike rack for pool idea



# Bike Rack for Jackalope Square Ideas

Jackalope

Bearcat – home of the  
bearcat

Buffalo - Wy

Bike Rack for Mountain Bike Trail - Mountains



Bike rack for Ice Cream Parlor



# Library Bike Rack



- Bike racks for the parks or other places in town ideas and themes.
- Bartlin park – Sport theme By the baseball fence, pickleball court
- Washington Park by playground equipment
- Keith Ryder Park – By the cover area or playground equipment
- By highschool football field or baseball field.



# How many people ride bikes in Douglas Wy?

- Approximately 35% ride bikes for recreational which is about 2200 locals.
- Daily Commuters 1.1% rely on their bike for transportation for work. Which is about 30 to 40 consistent in daily riding.



- Thank you for your time and letting me present my idea to you today. I will now open it up for questions and discussion.





## Agenda Item Report City Council – June 22, 2026

### Item

**Ordinance 1053:** Signs (Perry Hershberger)

### Responsible Staff Contact

### Recommendation

### Executive Summary

Councilmember Perry Hershberger requested Ordinance 1053 to be revisited with discussion around the following:

1. 5.9.4 Do Temporary signs pertain to the city property only??
2. /5.9.4 C i- The words (FOR and AN) need to be removed
3. 5.9.4 C ii- This is very confusing. We have many people with numerous signs in their yards currently.
4. 5.9.4 C iii- I think this should say ELECTION SIGNS

Currently, it is very unclear whether this is just in the city right away or not. Also, the way it is written, it seems like we can only put up temporary signs 90 days before an election. That would make sense for an election sign. But what if I wanted a garage sale sign put up?

### Background

If possible, I would like the sign ordinance on the next meeting (6/22/2026) as a discussion item.

Ord # 1053

1. 5.9.4 Do Temporary signs pertain to the city property only??
2. /5.9.4 C i- The words (FOR and AN) need to be removed
3. 5.9.4 C ii- This is very confusing. We have many people with numerous signs in their yards currently.
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**Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

**Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

**Action Requested/Recommended Motion**

**Attachments**

1. Ordinance 1053 Signs



STATE OF WYOMING

CITY OF DOUGLAS

CONVERSE COUNTY

**ORDINANCE NO. 1053**

**AN ORDINANCE AMENDING SECTIONS 16.5.9.1, 16.5.9.2(B), 16.5.9.3(A-D), Table 5.9-1, 16.5.9.4(B)(i), 16.5.9.4(C & H), AND 16.5.9.5(A)(ii) OF THE DOUGLAS MUNICIPAL CODE PERTAINING TO SIGNS**

**WHEREAS**, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

**WHEREAS**, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

**BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:**

**Section 1.** Section 16.5.9.1 of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.1 General**

**A. Intent**

This section is intended to provide uniform regulations pertaining to the use of signs as advertising devices to help ensure the health, safety, and welfare of the current and future residents of the City and to achieve the following goals:

- Allow the reasonable display of signage to identify and advertise products, services and business establishments for the information and convenience of the general public;
- Aid in the development and promotion of business and industry by providing sign regulations which encourage aesthetic creativity, effectiveness and flexibility in the display and use of signs;
- Preserve and enhance the City's small town character;
- Promote safe and attractive pedestrian environments; and
- Limit the aesthetic impact of signs on properties to prevent clutter and protect streetscapes thereby preserving property values and protecting traffic safety. The accumulation of signs creates clutter and adversely affects these goals, property values and public safety.

**B. Applicability**

The signage requirements of this section shall apply to the construction or substantial expansion of any single or multi-family residential use, manufactured and/or mobile home park, travel trailer and RV park, commercial, or industrial use in any zoning district within the City. For the purpose of applying the requirements of this Section, "substantial expansion" shall include any development or construction activity that requires approval of a Residential Site Plan or Type A, B, or B-LSR Development Plan as outlined in Chapter 3 of this Code. Additional use-specific standards may be applicable pursuant to the requirements of Chapter 6 of this Code.

**C. Alternate Sign Plan**

In approving an alternate sign plan, the Community Development Director, in reviewing a Type A Development Plan, and the City Council, in reviewing a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate sign plan:

- Whether the plan accomplishes the intent of the Character District guidelines in the City of Douglas Master Plan; and

Recorded in condition  
received by the County  
County Clerk's office



- Whether the plan demonstrates innovative design and use of signage and advertising elements.

Under no circumstances shall an alternate sign plan be approved that exceeds the square footage or development standards for signs allowed by this Section.

**D. Measurement of Sign Area**

The measurement of sign area shall be as follows:

- The surface area of all signs shall be counted and considered a part of the maximum total sign area allowed.
- Sign area shall be measured by determining the sum of the area within a continuous perimeter enclosing the extreme limits of sign display.
- Sign area for a building site is the total area of all signs located on the site and shall include any directional signs for off-premise businesses, but shall not include temporary signs.
- The area of double-faced signs (message displayed on two sides of a single sign) shall be calculated on the basis of one (1) face only.
- The area of triple-faced signs (message displayed on three sides of a single sign) shall be calculated on the basis of one and one-half (1 1/2) face only.
- The area of quadruple-faced signs (message displayed on four sides of a single sign) shall be calculated on the basis of two (2) faces only.

**E. Density**

Signs shall be limited to a maximum of one (1) sign per street frontage in all zones and districts. This shall not include signage posted by a governmental entity.

**F. Rights-of-Way Permanent Signs**

Placement of permanent signs in rights-of-way shall be as follows:

- Signs shall not be placed in the City right-of-way. This shall not include signage posted by a governmental entity.
- Written permission shall be obtained from the property owner and provided to the Community Development Department to place signs in the County right-of-way or State right-of-way. These signs will count against the total square footage allotted to signage allowed in the zone.

**G. Abandoned & Ghost Signs**

i. Definitions

Abandoned sign means a sign or sign where :

- The sign is no longer used by the person who constructed the sign structure that has ceased to be used. Discontinuation of sign use may be shown by cessation of use of the property where the sign is located.
- The sign has been damaged, and repairs and restoration are not started within 90 days of the date the sign was damaged, or are not diligently pursued, once started.

Ghost sign means historic or old, faded, often hand-painted signs, on the exterior wall of a building which remains visible long after the subject matter it promoted has closed or changed. Often found in historic districts and downtowns revealing hints of forgotten brands and products from a past era.



ii. Abandoned Signs

Abandoned signs shall be prohibited and removed within sixty (60) days after the premises have been vacated unless the sign is determined to have historical significance by the Douglas Historic Preservation Commission or unless the sign is located in the Local Downtown Historic District (O-LDH). If notice by the City is required due to lack of compliance with this section, the Community Development Department shall send a certified letter to the owner and give ten (10) days for the sign to be removed and/or repaired. In the event of continued non-compliance, the City may issue citation or cause abandoned signs to be removed at the expense of the owner.

iii. Ghost Signs

Ghost signs shall be reviewed by the Downtown Historic District Review Board if located in the Local Downtown Historic District (O-LDH) or by the Historic Preservation Commission if located outside the Local Downtown Historic District (O-LDH).

Criteria for preservation of ghost signs shall include, but not be limited to:

- Hand-painted: Ghost signs were not modern printed materials but were laboriously hand-painted by skilled sign painters known as "wall dogs".
- Fading & Ephemeral: Over decades or even centuries, the paint on these signs wears away, making them appear as fading "ghosts" of their former selves.
- Historic Buildings: They are typically found on older commercial buildings, often on brick walls, serving as remnants of the building's past life.
- Time Capsules: Ghost signs act as historical markers, offering insights into long-forgotten products, local businesses, and even societal messages from the past.
- Historical Preservation: Many ghost signs are preserved for their sentimental appeal or historical value, offering a tangible link to a city's past and the evolution of its streetscapes.
- Community History: They reveal the history of local commerce and documenting forgotten products or businesses, such as Coca-Cola signs or advertisements for patent medicines.
- Aesthetic Interest: The art and weathering of ghost signs are appreciated for their unique aesthetic, which can sometimes be highlighted or even digitally reconstructed by artists.

**H. Maintenance**

All signs (excepting ghost signs) shall be maintained in good repair and any damaged sign shall be repaired, except as otherwise limited by this Section, within thirty (30) days. If notice by the City is required due to lack of compliance with this section, the Community Development Department shall send a certified letter to the owner and give ten (10) days for the sign to be removed and/or repaired. In the event of continued non-compliance, the City may issue citation or cause corrective action at the expense of the owner

**I. Enforcement**

Any violation of the signage standards of this section shall be subject to the enforcement provisions of Chapter 9 of this Code.



**Section 2.** Section 16.5.9.2(B) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.2 Permit and Construction Requirements**

**B. Exemptions**

All temporary signs that comply with the respective time, place, and manner requirements of Section 5.9.3 are exempt for the sign permit requirements of this Section.

Temporary sign(s) means a sign made of temporary materials affixed, erected, or maintained sign on the premise or lot for a short duration.

**Section 3.** Section 16.5.9.3(A-D) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.3 Sign Allowance by Zone District**

**A. Signage in the Agricultural Zoning District**

Agricultural signs shall be a maximum of thirty-two (32) square feet.

**B. Signage in Residential Zoning Districts**

In addition to the allowance of temporary signs under Section 5.9.4(C), properties with approved commercial or conditional uses are permitted one (1) sign not to exceed twenty (20) square feet. Subdivisions, apartments, multi-family dwellings and condominium complexes are permitted one (1) sign not to exceed twenty (20) square feet, and further provided that one (1) such sign shall be permitted for each separate street and/or separate building frontage occupied by the subdivision, apartment, or condominium complex and/or for each means of entrance to or exit from the subdivision, apartment, or condominium complex. Wall signs are also permitted not to exceed five (5) percent of the area of the façade in elevation view upon which they are placed.

**C. Signage in the Manufactured/Mobile Home Park and Travel Trailer/RV Park Zoning Districts**

Manufactured and mobile home parks and travel trailer and RV parks are permitted a monument sign not to exceed sixty-four (64) square feet, and further provided that one (1) such sign shall be permitted for each separate street and/or separate building frontage occupied by the manufactures/mobile home park and/or travel trailer/RV park for each means of entrance to or exit from the subdivision, apartment, or condominium complex. Wall signs are also permitted not to exceed five (5) percent of the area of the façade in elevation view upon which they are placed.

**D. Signage in the CB-1 Zoning District**

The total combined sign area in the Downtown Business zone shall be limited to two hundred (200) square feet per building site area. All signs, including directional signs for off-site businesses and portable signs, shall be included in calculating the total combined sign area. Signs in this zone shall be subject to the City of Douglas Downtown Historic District Review Panel and approval for time, manner, and place restrictions.



Table 5.9-1 Allowed Sign Types by Zone Districts

Sign Type	Rural		Residential						Commercial/Industrial					Other			Additional Requirements
	A	RR	RE	R-1	R-2	R-3	R-4	MH-1	MH-2	CB-1	B-1	B-2	I	PLI*	MU-PUD*	GRN	
Banner						A	A	A	A	A	A	A	A	A	A	A	
Canopy sign						A	A	A	A	A	A	A	A	A	A	A	
Contractor sign	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Directional sign						A	A	A	A	A	A	A	A	A	A	A	
Electronic Message Display (EMD)	C			C		C	C	C		C	C	C	C	C	C		See Section 5.9.4 of this Code
Freestanding sign						A	A	A	A	A	A	A	A	A	A	A	
Home occupation sign	A	A	A	A	A	A	A	A		A	A				A		
Marquee sign						C	C	C		A	A				C		
Mechanical Message Display (MMD)	C			C		C	C	C		C	C		C	C	C		See Section 5.9.4 of this Code
Monument sign			C	C	C	A	A	A		A	A	A	A	A	C		
Off-premise sign						C	C			A	A	A	A	A	C		
Pole sign										A	A	A	A	A	C		
Portable sign	A					A	A	A		A	A	A	A	A	C		
Projecting sign						A	A	A		A	A	A	A	A	C		
Roof sign						C	C			A	A	A	A	A	C		
Shopping/office complex sign						C	C			A	A	A	A	A	A		
Sidewalk sign						T	T			T	T				T		
Suspended sign						A	A			A	A				A		
Temporary sign	T	T	T	T	T	T	T			T	T				T		See Section 5.9.4 of this Code
Wall sign						A	A			A	A				A		

Note: A = Allowed sign in the identified zoning district. T = Temporary sign in the identified zoning district. C = Allowed sign in the identified zoning district if the respective site includes an approved or legally existing conditional or commercial use. All blank cells/boxes represent a sign that is not allowed in the identified zoning district. \*This table only applies to PLI and MU-PUD zones without Master Plans.



**Section 4.** Section 16.5.9.4(B)(i) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.4 General Sign Standards**

**B. Location and Setbacks**

- i. All Signs Located On-Site

Signs shall be located on the premises in which the events, products, or services are being offered, unless otherwise approved as an off-premise sign pursuant to the requirements in Section 5.9.5 below. Temporary Signs may be displayed on municipal property in conjunction with an approved special event so long as the display is confined to the booth/table/display at the event and limited to the event duration. Temporary Signs may also be displayed in the Parkway or city right-of-way if done so with the permission of the property owner fronting the Parkway where a Temporary Sign would be erected.

**Section 5.** Section 16.5.9.4(C) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.4 General Sign Standards**

**C. Temporary Signs**

- i. Temporary sign(s) means a sign made of temporary materials affixed, erected, or maintained sign on the premise or lot for an erected for a minimum number of days except as provided below.
- ii. Residential properties – all single-family residential properties that are located in Residential Zoning Districts are permitted temporary signs not to exceed three (3) square feet in total sign area per road frontage. Corner lots and lots with frontage on more than one street are entitled to three (3) square feet per frontage. This sign area allowance covers but is not limited to: address signs, home occupation signs, lawn signs, real estate signs, contractor signs, and political signs. Signs may be freestanding, mounted to a permanent building structure or displayed in a window. Trees, rocks or other naturally occurring landscape features may not be used to support a residential sign.
- iii. Signs not exceeding eight (8) square feet per frontage shall be allowed during a period from (90) days before a public election or the time the election is called , whichever is earlier, to five (5) days after the public election.
- iv. A sign not exceeding six (6) square feet in area and five (5) feet in height during the time of sale, lease or rental of the premises, provided that the sign is removed within thirty (30) days of the sale, lease or rental of the premises.
- v. Temporary signs shall not be placed on trees, rocks or other naturally occurring landscape features in any zone or district.
- vi. Temporary signs in the right-of-way shall not exceed three (3) feet in height.
- vii. The City may cause any temporary signage violating this section to be removed.

**Section 6.** Section 16.5.9.4(H) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.4 General Sign Standards**

**H. Freestanding and Pole Signs (see Figure 5.9-3 below for an example of a freestanding sign)**

- i. Height

Freestanding sign and pole signs shall be a minimum height of eight (8) feet as measured from finished grade to the bottom of the sign and shall not exceed a maximum height of fifteen (15) feet as measured from finished grade to the top of the sign in vehicular travel and maneuvering areas. All other freestanding signs shall not exceed the maximum building height of applicable zoning district.



ii. Area

The total area of freestanding signs and pole signs shall not exceed two (2) square feet for each linear foot of the building wall closest to the freestanding sign or fifty (50) square feet in a R-3, R-4, MH-1, MH-2, CB-1 or GRN zone, or one hundred (100) square feet in a B-1, B-2, MU-PUD, PLI or I zone, whichever is less. The maximum area of a freestanding sign where no building exists shall be fifty (50) square feet.

iii. Number of Freestanding Signs and Pole Signs Permitted on a Site

One (1) freestanding sign or pole sign shall be allowed per frontage. Multiple tenants may be advertised on a single freestanding sign.

iv. Landscaping

Freestanding and Pole Signs shall be landscaped with water-wise vegetation (i.e. plants that naturally require little supplemental water, having evolved in low-precipitation environments and thus adapted to aridity, creating vibrant, low-water consumption landscapes) at their base in a way harmonious with the landscape concept for the whole site. Landscaping shall form an attractive, dense cluster at the base of the sign that is equally attractive in winter and summer (see Figure 5.9-4). Appropriate multidimensional rock-scape or art may be exchanged for landscaping.

v. Limited

The primary entryways to the City provide a valuable first impression of the community. Development should exemplify the nature of the community and provide insight into the character of the City. Traditional Pole Signs, defined as a sign sitting atop a single narrow pole, shall be limited on a case-by-case basis and shall be located on the primary commercial and industrial streets including the following:

- East Richards Street
- West Richards Street
- West Yellowstone Highway
- Riverbend Drive
- Highway 59
- Highway 93
- Highway 94

vi. Redesigned

Acceptable freestanding signs shall include signs with a wide decorative base, unique shapes, or other decorative elements including natural elements such as wood and stone.



Figure 5.9-3: Example of a freestanding pole sign.

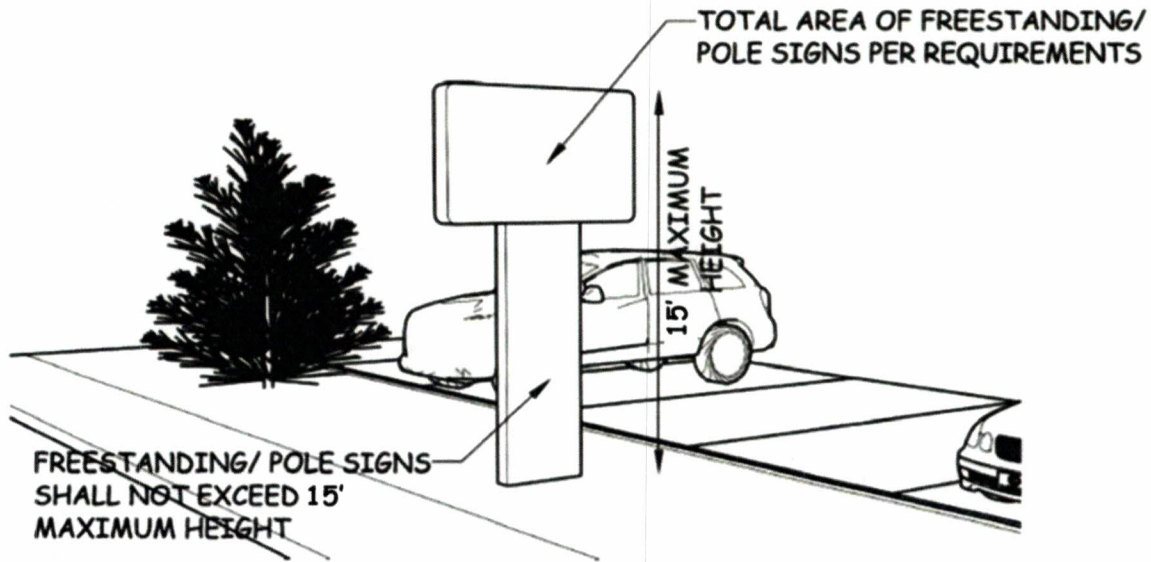
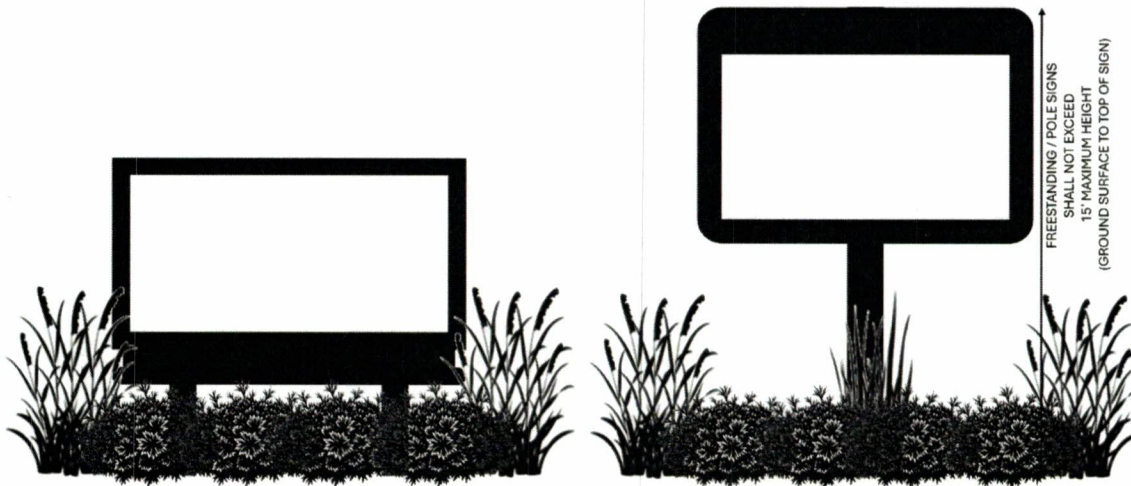


Figure 5.9-4 Freestanding and Pole Sign Landscaping



**Section 7.** Section 16.5.9.5(A)(ii) of the Douglas Municipal Code is hereby amended to read as follows:

**5.9.5 Off-Premise Sign Standards (Billboards)**

**A. General**

ii. Placement Limited

Off-premise signs proposed in community entry ways or Character Districts shall require conditional use approval from the City Council prior to construction. The City Council may impose additional time, place, and manner restrictions on the placement and sign area of off-premise signs located in Character Districts or Entry Corridors.

**1144002 Book 1841 Page 302**

Recorded 11/18/2025 At 11:17 AM

Karen Rimmer, Converse County Clerk & Recorder



PASSED AND APPROVED ON FIRST READING this 13th day of October, 2025.

PASSED AND APPROVED ON SECOND READING this 27th day of October, 2025.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this 10th day of November, 2025.

*Kim Pexton*

Kim Pexton, Mayor

Attest:

*Devon Litzsinger*

Devon Litzsinger, City Clerk



Published: November 19, 2025

**ATTESTATION**

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

*Devon Litzsinger*

Devon Litzsinger, City Clerk



Handwritten text, possibly a signature or date, located to the right of the stamp.

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36.00



## **Agenda Item Report** **City Council – June 22, 2026**

### **Item**

**Council Meetings:** Time

### **Responsible Staff Contact**

Kim Pexton

### **Recommendation**

### **Executive Summary**

Discussion regarding council meeting times.

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

### **Action Requested/Recommended Motion**

### **Attachments**

None



# Agenda Item Report

## City Council – June 22, 2026

### **Item**

**America 250:** Itty-Bitty Committee Update

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

### **Action Requested/Recommended Motion**

### **Attachments**

None



## Agenda Item Report City Council – June 22, 2026

### Item

**Resolution 2026-29:** A Resolution Changing the Zoning of Riverview Addition, Block 1, East 75.2 Feet of Lot 1 From R-2 Medium Density Residential to I Industrial Zone

### Responsible Staff Contact

Clara Chaffin

### Recommendation

Recommend Approval

### Executive Summary

Application to rezone Riverview Addition, Block 1: East 75.2' of Lot 1 from R-2 Medium Density Residential to I Industrial Zone. The property is currently zoned R-2 Medium Density Zoning District. This district is "is intended to provide for the development of single-family and duplex or townhouse dwellings." The applicant desires to rezone to I Industrial Zoning District, which is "intended to provide for wholesale trade, storage and warehousing, trucking and transportation terminals, light and heavy manufacturing uses and similar activities."

### Background

The subject property was annexed by the City of Douglas on April 2nd, 1924, as part of the Riverview Addition and has remained unchanged since.

### Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### Budget/Fiscal Impact

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

**Action Requested/Recommended Motion**

Motion to approve Resolution 2026-29.

**Attachments**

1. Resolution 2026-29 Rezone 600 W Clay Street
2. CNCL Staff Report with Cover Sheet

RESOLUTION NO. 2026-29

**A RESOLUTION CHANGING THE ZONING OF RIVERVIEW ADDITION, BLOCK 1, EAST 75.2 FEET OF LOT 1 FROM R-2 MEDIUM DENSITY RESIDENTIAL TO I INDUSTRIAL ZONE.**

**WHEREAS**, Bernadine Winton, as owner of the property, has made application to change the zoning of said property; and

**WHEREAS**, the purpose of the rezone is to allow the lot to be used to build a shop.

**WHEREAS**, the Community Development staff and the Douglas Planning and Zoning Commission have reviewed the application to ensure that it shall have no adverse impact upon the welfare of the public; and

**WHEREAS**, notice has been duly given and a public hearing held before the Douglas Planning and Zoning Commission on June 15, 2026, where there was no public opposition to the application; and the Planning and Zoning Commission voted unanimously to recommend approval of changing the zoning of Riverview Addition, Block 1, East 75.2 Feet of Lot 1; and

**WHEREAS**, this application was presented to and approved by the Douglas City Council at a public hearing held on June 22, 2026.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DOUGLAS, WYOMING**, that the zoning classification of the parcel of land platted as Riverview Addition, Block 1, East 75.2 Feet of Lot 1, City of Douglas, Converse County, Wyoming is hereby adopted as follows:

**Section 1:** The zoning of property legally described as tracts of land platted as Riverview Addition, Block 1, East 75.2 Feet of Lot 1, shall be rezoned from R-2 Medium Density Residential to I Industrial Zone.

**Section 2:** The City District Zoning Map shall be amended to reflect the rezoning of said property described herein.

**PASSED, APPROVED, AND ADOPTED** this 22nd day of June, 2026.

\_\_\_\_\_  
Kim Pexton, Mayor

**Attest:**

\_\_\_\_\_  
Devon Litzsinger, City Clerk

# Rezone Application

## STAFF REPORT

600 W Clay St, Douglas, Wyoming, 82633

Re-zone from residential to industrial

**CASE NUMBER:** ZON2026-0001

**PREPARED BY:** Heidi McCullough

**MEETING DATES:** Planning Commission: 6/15/2026, City Council: 6/22/2026

**REQUEST:** Re-zone from residential to industrial

**RECOMMENDATION:** Staff recommends approval of the of the request to rezone Riverview Addition, Block 1: East 75.2' of Lot 1 from R-2 Medium Density Residential to I Industrial Zone.

**APPLICANT:** Bernadine Winton  
21 Westridge Way Douglas WY 82633

**PROPERTY OWNER:** WINTON, BERNADINE  
21 WESTRIDGE WAY DOUGLAS, WY 82633

**LEGAL DESCRIPTION:** Riverview Addition, Block 1: East 75.2' of Lot 1

**CURRENT ZONE:** R-2

**PROPOSED ZONE:** I

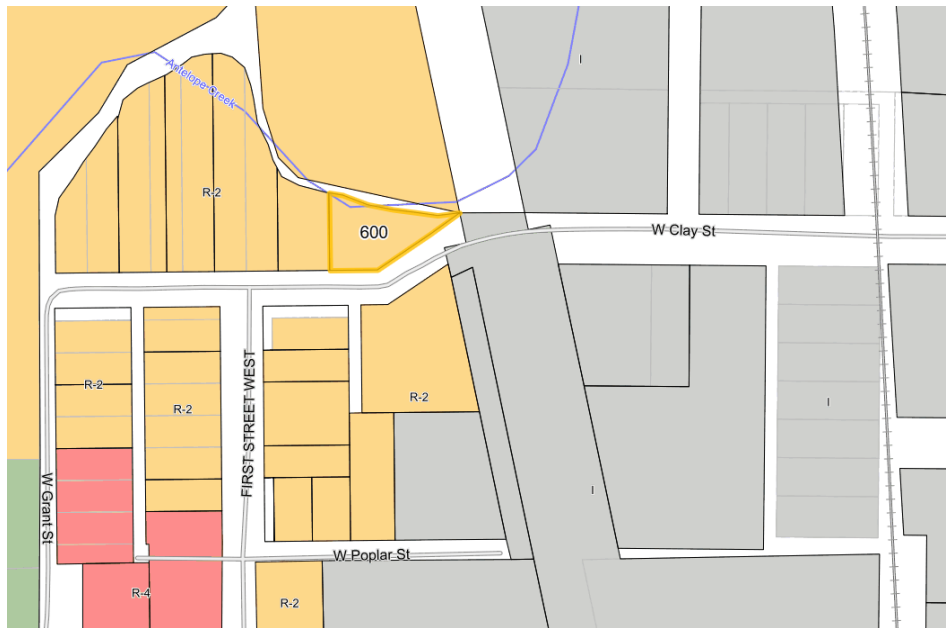
**VICINITY MAP:**



**LOCATION:** The subject property is located on the north side of West Clay Street, between First Street West and North Second.

**LOT SIZE:** 0.26 Acres

**ZONING:** R-2 Medium Density Residential Zone



**ZONING DATA:** The property is currently zoned R-2 Medium Density Zoning District. This district is “*is intended to provide for the development of single-family and duplex or townhouse dwellings.*” The applicant desires to rezone to I Industrial Zoning District, which is “*intended to provide for wholesale trade, storage and warehousing, trucking and transportation terminals, light and heavy manufacturing uses and similar activities.*”

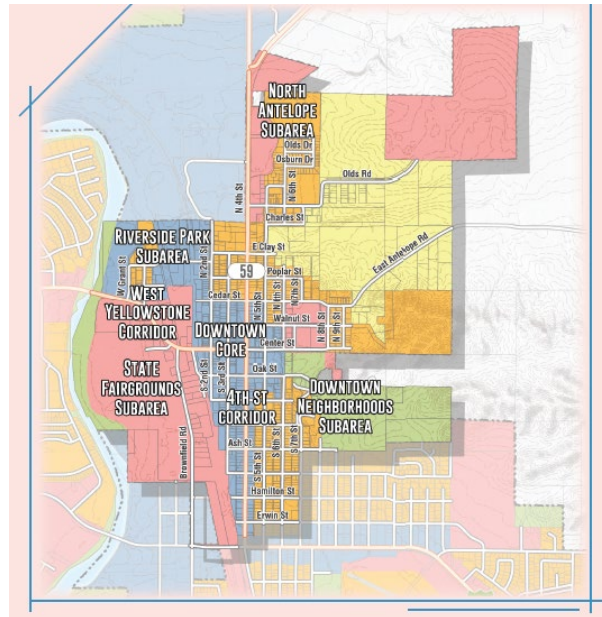
**EXISTING LAND USE:** Residential

**PROPOSED USE:** Industrial Shop/Business

<b>SURROUNDING LAND USE:</b>		<b>ZONING</b>	<b>ANNEXATION STATUS</b>
<b>North:</b>	Vacant Land	R-2	City
<b>South:</b>	Residential	R-2	City
<b>East:</b>	Vacant/Construction Company	None/ I	City/County
<b>West:</b>	Residential	R2	City

**HISTORY:** The subject property was annexed by the City of Douglas on April 2<sup>nd</sup>, 1924, as the Riverview Addition and has remained unchanged since.

**2026 COMMUNITY BLUEPRINT:** The property is designated as part of the Riverside Park Subarea of the Central Douglas District.” The heart of our community, housing our historic downtown. The area includes a mix of residential densities, businesses, and varying industrial uses along the railway. Key community and tourist destinations enhance the area’s vibrancy.



The request conforms with the goals and priorities of the Community Blueprint.

**FY2025 STRATEGIC DOING:** Rezone of this area is not referenced in the FY2025 Strategic Doing as a Key Performance Indicator (KPI).

**STAFF RECOMMENDATION:** Staff recommends approval of the of the request to rezone Riverview Addition, Block 1: East 75.2’ of Lot 1 from R-2 Medium Density Residential to I Industrial Zone.

**PLANNING & ZONING COMMISSION RECOMMENDATION:** The Douglas Planning & Zoning Commission, at their regular meeting on June 15, 2026, voted unanimously to recommend approval of the request to rezone Riverview Addition, Block 1: East 75.2’ of Lot 1 from R-2 Medium Density Residential to I Industrial Zone.



## Agenda Item Report City Council – June 22, 2026

### Item

**Ordinance 1070:** An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening

### Responsible Staff Contact

Clara Chaffin

### Recommendation

Continue review and edits or approve Ordinance 1070 as presented on first reading.

### Executive Summary

#### June 22, 2026 Update

Ordinance 1070 has been updated to reflect comments from the Council discussion on June 8, 2026, regarding screening and the ability to review screening on a case-by-case basis.

Single-family and duplex/twin-homes are not subject to screening requirements. The following text was added throughout, allowing more flexibility with screening: *Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.*

#### June 8, 2026 Update

Ordinance 1070 has been updated to reflect comments from the Council discussion on May 26, 2026, including:

- Verifying all numbers align throughout each section.
- Allowing synthetic grass when a tree is included to reduce heat-islands.
- Removing landscape buffers.
- Removing the education component.
- Allow zero-scape with trees to reduce heat-islands.
- Making clear that fruit-bearing trees are allowed on private property.
- Moving Table 5.5-3 (now Table 5.5-1 Internal Landscaping Calculations) closer to the beginning of the landscape code.
- Reducing the 75% live vegetation requirement to 25% of the total landscape percentage throughout.
- Allowing for just a 100% opaque fence instead of a combination of landscaping,

- berms, and fences/walls.
- Removing landscaping around refuse storage screening.
- Clarifications throughout.

Overall, the aim was to enable more flexibility for the property owner or developer, especially with the allowance of the Alternate Landscape Plan.

A track-changes document and a clean document have been provided for review.

### **Original Narrative**

Ordinance 1070 updates the municipal code to align with water-wise landscaping as the City considers growth with long-term resource stewardship. The revised standards prioritize drought-tolerant and native plant species suited to local conditions, reducing dependence on high-water-use turf and lowering long-term maintenance demands. They also emphasize efficient irrigation practices, such as drip systems, soil moisture sensors, and appropriate watering schedules, to minimize waste and improve effectiveness.

Unlike other sections of municipal code, this update includes educational components identifying reasoning and background to assist users in understanding water-wise concepts.

While advancing conservation goals, the code maintains flexibility for functional turf areas and encourages attractive, regionally appropriate landscape design, ultimately fostering a more resilient, efficient, and visually appealing built environment.

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

### **Budget/Fiscal Impact**

### **Action Requested/Recommended Motion**

Approve Ordinance 1070 as presented on first reading.

### **Attachments**

1. Ordinance 1070 Landscaping Code Update (Water-Wise) 1st Reading 20260622  
Clean
2. Ordinance 1070 Landscaping Code Update (Water-Wise) 1st Reading 20260622  
Track Changes



## ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE  
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

**WHEREAS**, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

**WHEREAS**, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

**BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:**

**Section 1.** Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

**5.5 Landscaping, Buffering, and Screening****5.5.1 General****A. Intent**

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief;
- Discourage the spread of noxious weeds and invasive plant species;
- Promoting the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

**B. Definitions**

**Turfgrass:** Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

**Water-Wise Landscape:** Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

**Xeriscape Landscape:** Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

**Zero-scape Landscape:** Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

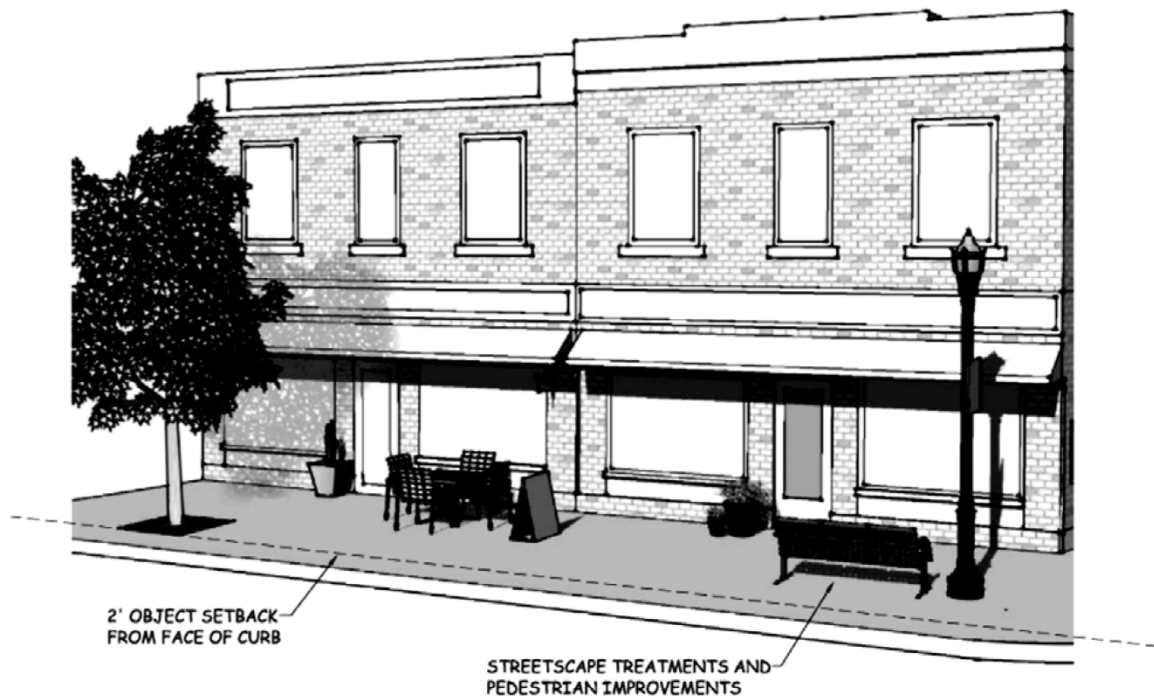
### C. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3.J, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

### D. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5.5-1 below for an example of acceptable landscaping treatments).

**Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District**



### E. Landscape Materials

#### i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

#### ii. Combination of Plant Materials and Landscape Treatments

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable water-wise landscaping along with non-living material such as mulch, gravel, boulders, or decorative elements.

The required landscape area shall consist of a minimum of twenty-five (25%) percent living plant material based on mature size of vegetation per Table 5.5-1. The foliage crown of deciduous trees may be used in the 25% living material calculation.

iii. Zero-scape

Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.

iv. Minimizing Turfgrass

To the extent possible, irrigated water-wise turfgrass shall be minimized and limited only functional areas and not used for strictly ornamental purposes.

v. Traditional Spray Irrigation

Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described in this code. All other irrigation systems shall be drip or micro spray systems.

vi. Minimizing Synthetic Turf

To the extent possible, synthetic turf shall be minimized and shall include a minimum of one tree to reduce “heat-island” effect.

Exception: Synthetic turf used for recreational purposes such as ballfields.

vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

#### **F. Completion of Required Landscaping for New Development**

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

Exception: Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

ii. Landscape Completion Agreement

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

#### **5.5.2 Alternate Landscape Plan**

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Residential, Commercial, or Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan;
- Whether the plan considers water-wise landscape practices; and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

### 5.5.3 Landscape Requirements

#### A. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

**Table 5.5-1 Internal Landscaping Calculations**

Development Type	Property Size	Percentage of Site Required to be Landscaped	Percentage of Landscaped Area Required to be Living Plant Material	Number of Internal Trees Required
Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks,	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.

and Travel Trailer and RV Parks	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%)	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%)	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

i. Exceptions to Internal Landscaping Requirements

a. Developments with approved Alternate Landscape Plans.

b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

**B. Street Trees/Roadway Landscaping**

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

i. Type A Development Exception

Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.

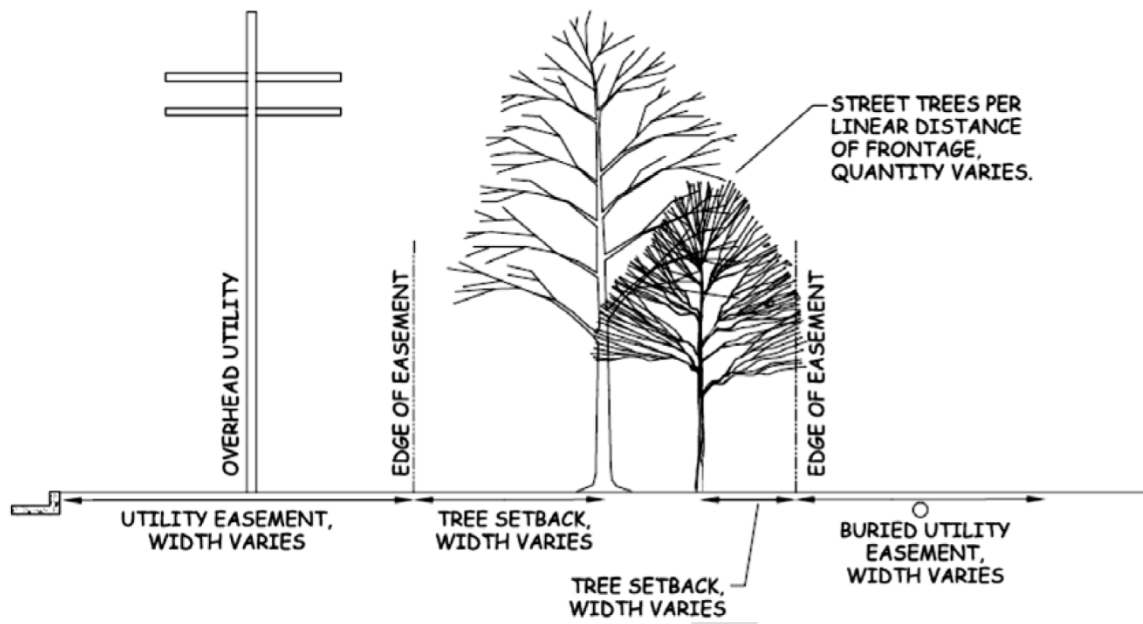
ii. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-2 (see also Figure 5.5-2 below for an example of street tree setbacks).

**Table 5.5-2 Street Tree Requirements**

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

**Figure 5.5-2: Example of street tree setbacks.**



iii. Approved Street Tree Species

The use of any tree species not identified in Table 5.5-3 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the Parks and Recreation Director.

**Table 5.5-3 Authorized Street Tree Species**

Common Name	Botanical Name	Minimum Caliper Size/Height
<b>Small Trees</b> (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	<i>Acer glabrum</i>	<b>Broadleaf Trees</b> <ul style="list-style-type: none"> <li>All residential except multi-family residential = 1.5" caliper</li> <li>Multi-Family Residential = 2" caliper</li> <li>Business/Commercial and Industrial = 2.5" caliper</li> </ul> NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Norway Maple	<i>Acer platanoides</i>	
Shangtung Maple	<i>Acer truncatum</i>	
Apple Serviceberry	<i>Amelanchier x grandiflora</i>	
Eastern Redbud	<i>Cercis canadensis</i>	
Cornelian Cherry	<i>Cornus mas</i>	
Russian Hawthorn	<i>Crataegus ambigua</i>	
Thornless Cockspur Hawthorn	<i>Crataegus crus-galli inermis</i>	
Amur Maackia	<i>Maackia amurensis</i>	
Prairie Rose Crabapple (fruitless)	<i>Malus ioensis</i>	
China Snow Lilac	<i>Syringa pekinensis</i>	
Summer Charm Lilac	<i>Syringa pekinensis</i>	
Japanese Tree Lilac	<i>Syringa reticulata</i>	
Summer Sprite Linden	<i>Tilia cordata</i>	
<b>Medium Trees</b>		
Trident Maple	<i>Acer buergeranum</i>	<b>Broadleaf Trees</b> <ul style="list-style-type: none"> <li>All residential except multi-family residential = 1.5" caliper</li> <li>Multi-Family Residential = 2" caliper</li> <li>Business/Commercial and Industrial = 2.5" caliper</li> </ul>
Hedge Maple	<i>Acer campestre</i>	
Miyabe Maple	<i>Acer miyabei</i>	
Red Maple	<i>Acer rubrum</i>	
Pacific Sunset Maple	<i>Acer truncatum</i>	
Ohio Buckeye	<i>Aesculus glabra</i>	

Common Alder	<i>Alnus glutiosa</i>	<p>NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.</p> <p><u>Conifer Trees</u></p> <ul style="list-style-type: none"> <li>• Shall be a minimum of five (5) feet in height at the time of planting for all uses.</li> </ul>
European Hornbeam	<i>Carpinus betulus</i>	
Ginkgo	<i>Ginkgo biloba</i>	
Thornless Honeylocust	<i>Gleditsia triacanthos inermis</i>	
Amur Corktree	<i>Phellodendron amurense</i>	
Wavyleaf Oak	<i>Quercus undulata</i>	
Japanese Pagodatree; Scholar tree	<i>Styphnolobium japonicum</i>	
Shamrock, Chancellor, or Corinthian Linden	<i>Tilia cordata</i>	
Prospector Elm	<i>Ulmus wilsoniana</i>	
<b>Large Trees</b>		
Black Maple	<i>Acer nigrum</i>	<p><u>Broadleaf Trees</u></p> <ul style="list-style-type: none"> <li>• All residential except multi-family residential = 1.5" caliper</li> <li>• Multi-Family Residential = 2" caliper</li> <li>• Business/Commercial and Industrial = 2.5" caliper</li> </ul> <p>NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.</p> <p><u>Conifer Trees</u></p> <ul style="list-style-type: none"> <li>• Shall be a minimum of five (5) feet in height at the time of planting for all uses.</li> </ul>
Sycamore Maple	<i>Acer pseudoplatanus</i>	
Sugar Maple	<i>Acer saccharum</i>	
Yellow Buckeye	<i>Aesculus flava</i>	
Common Horsechestnut	<i>Aesculus hippocastanum</i>	
Pignut Hickory	<i>Carya glabra</i>	
Shagbark Hickory	<i>Carya ovata</i>	
Northern Catalpa	<i>Catalpa speciosa</i>	
Katsuratree	<i>Cercidiphyllum japonicum</i>	
Thornless Honeylocust	<i>Gleditsia triacanthos inermis</i>	
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>	
Tulip Tree	<i>Liriodendron tulipifera</i>	
American Sycamore	<i>Platanus occidentalis</i>	
Swamp White Oak	<i>Quercus bicolor</i>	
Shingle Oak	<i>Quercus imbricaria</i>	
Pin Oak	<i>Quercus palustris</i>	
Chestnut Oak	<i>Quercus prinus</i>	
English Oak	<i>Quercus robur</i>	
MacDaniel's Oak	<i>Quercus x macdanielli</i>	
Ware's Oak	<i>Quercus x warei</i>	
Littleleaf Linden	<i>Tilia cordata</i>	
Silver Linden	<i>Tilia tomentosa</i>	
American Elm	<i>Ulmus americana</i>	

iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (*Acer negundo*)
- Siberian elms (*Ulmus pumila*)
- Any of the poplar (*Populus*) species including cottonwoods, poplars, and aspens
- Any willow (*Salix*) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (*Fraxinus*) species
- Walnut (*Juglans*) species

- Silver maple (*Acer saccharinum*),
- Freeman maple (*Acer x freemannii*)
- Sunburst honeylocust (*Gleditsia triacanthos inermis* 'Sunburst')
- Bradford pear (*Pyrus calleryana* 'Bradford')
- Mulberry (*Morus*) species
- Russian-olive (*Elaeagnus angustifolia*)
- Tree-of-heaven (*Ailanthus altissima*).

### C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section except where adjacent to a similar lot.

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

#### i. Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

#### ii. Parking Lot Buffering and Screening

##### a. Buffering from Rights-of-Way

Parking lots shall be buffered from adjacent public rights-of-way with a combination of plantings and landscaped berms. Any landscaping treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at full maturity.

##### b. Adjacent to Residential Uses

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fences or decorative walls.

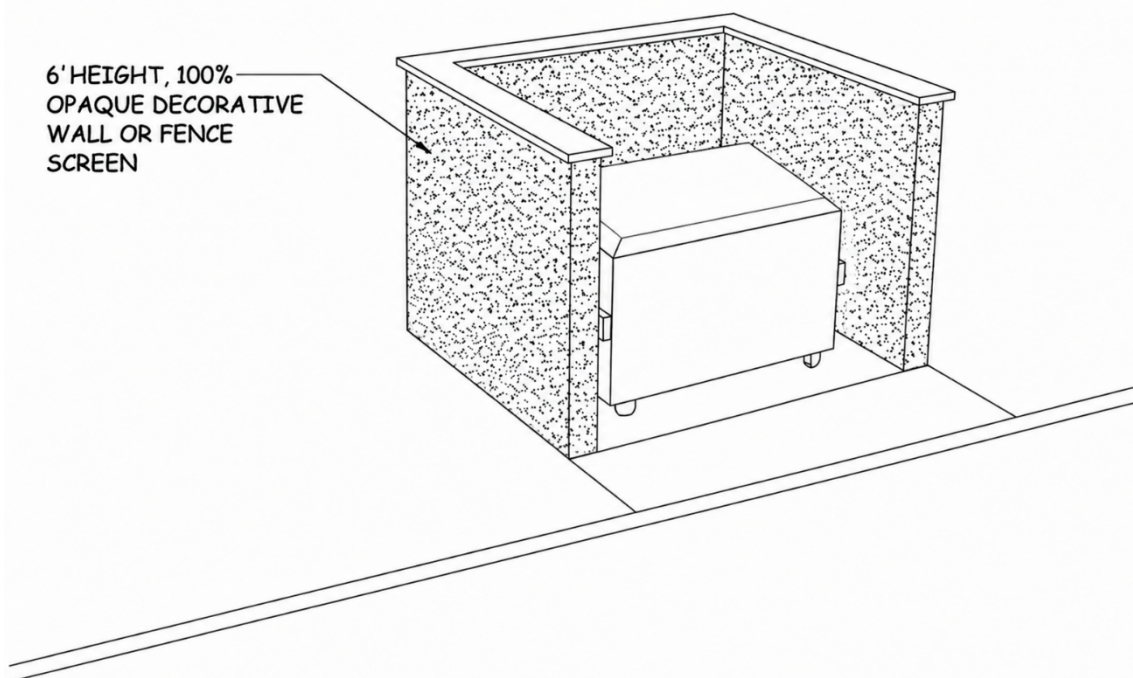
### D. Refuse Storage Screening

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-3 below for an example of refuse storage screening).

#### i. Refuse Containers

Refuse container enclosures shall be surrounded on three (3) sides by a one hundred (100%) percent opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

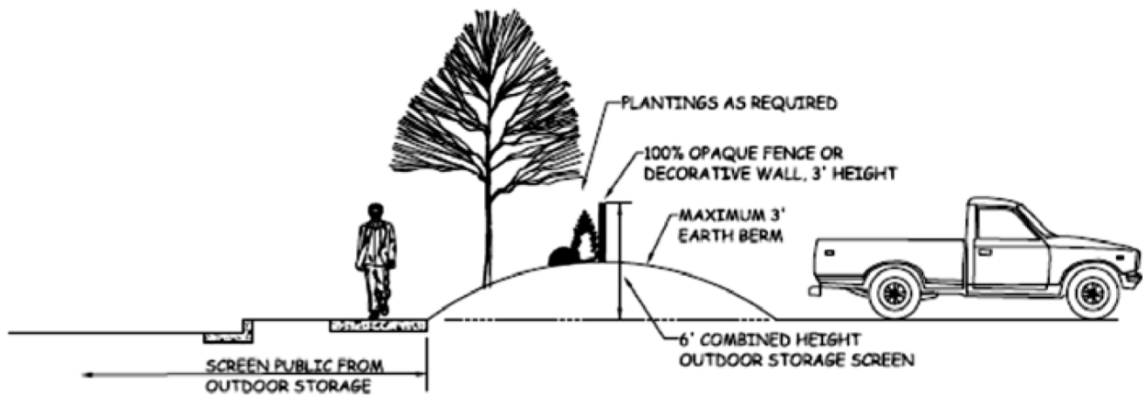
**Figure 5.5-3: Example of refuse storage screening.**



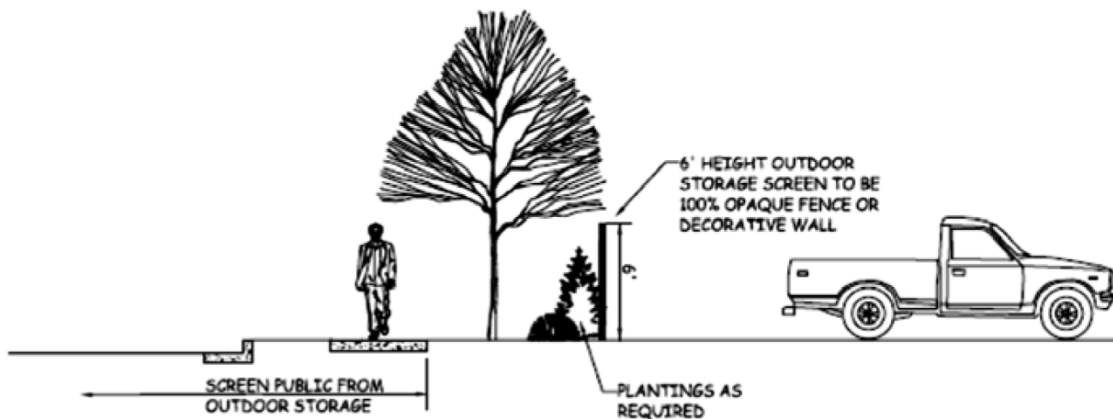
#### **E. Outdoor Storage Screening (Commercial and Industrial)**

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

**Figure 5.5-4: Examples of outside storage screening.**



**OUTDOOR STORAGE SCREENING WITH EARTH BERM**



**OUTDOOR STORAGE SCREENING WITHOUT EARTH BERM**

**F. Commercial Buffering and Screening Requirements**

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

**G. Industrial Buffering and Screening Requirements**

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

**i. Industrial Screening Fences, Walls, & Combinations**

Screening fences or walls shall be at least six (6) feet in height. When using a combination of berms and fences or walls, the minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

## H. Residential Landscaping Requirements

### i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used for the planting and growing of trees, shrubs, gardens, and other water-wise ground covering or landscaping material approved by the City. Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged. Each single-family residential site plan shall provide for the planting of a minimum of one (1) tree. No other landscaping requirements shall apply to single-family residential uses.

### ii. Multi-Family Residential Buffering Requirements

All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

## I. Manufactured and Mobile Home Parks / Travel Trailer and RV Parks

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.

The City Council, in approving a Type B Development Plan, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

### i. Landscaping Plan Required

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

### ii. Compliance with General Landscape Requirements of this Section

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

### iii. Internal Landscape Requirements

A minimum of ten (10%) percent of the gross site area shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

### iv. Required Landscape Buffer

Manufactured and/or mobile home parks or travel trailer and RV parks abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer. Buffering may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the

Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Manufactured and/or mobile home parks or travel trailer and RV parks shall be buffered from adjacent public rights-of-way. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

**J. Irrigation and Maintenance**

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health. Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

**K. Obstructions Prohibited**

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

**PASSED AND APPROVED ON FIRST READING this 22nd day of June, 2026.**

**PASSED AND APPROVED ON SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 2026.**

**PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this \_\_\_\_\_ day of \_\_\_\_\_, 2026.**

\_\_\_\_\_  
Kim Pexton, Mayor

**Attest:**

\_\_\_\_\_  
Devon Litzsinger, City Clerk

*Published:* \_\_\_\_\_

**ATTESTATION**

I, Devon Litzinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

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Devon Litzinger, City Clerk

DRAFT

## ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE  
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

**Section 1.** Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

**5.5 Landscaping, Buffering, and Screening****5.5.1 General****A. Intent**

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief; and
- Discourage the spread of noxious weeds and invasive plant species;
- Promoting the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

**B. Definitions**

**Turfgrass:** Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

**Water-Wise Landscape:** Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

**Xeriscape Landscape:** Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

**Zero-scape Landscape:** Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

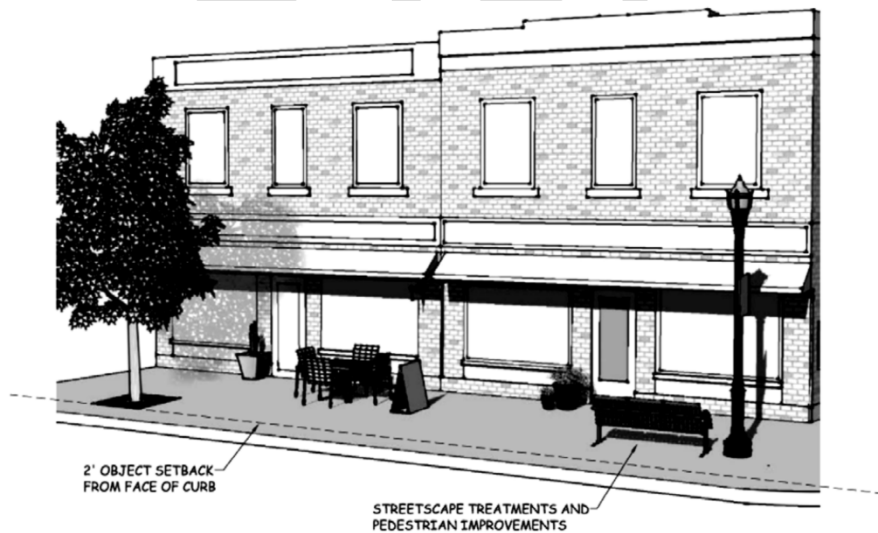
**B.C. Applicability**

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3 JK, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

**G.D. Exceptions/Exemptions**

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5-25.5-1 below for an example of acceptable landscaping treatments).

**Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District**



**D.E. Landscape Materials**

- i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

Water-Wise Landscaping

~~Douglas, Wyoming, receives an average annual precipitation of approximately 12.6 to 15 inches, making it a semi-arid region. Most moisture occurs in late spring and early summer, particularly in May. A water-wise approach to landscaping is appropriate and recommended in semi-arid regions where water supply is limited and in demand.~~

~~A water-wise landscape is one that is functional, attractive, and easily maintained in its natural surroundings. A water-wise landscape helps to conserve water while optimizing every drop toward the health, appearance, and performance of the built landscape.~~

~~Proper planning and design are essential to the success of any landscape and water-wise landscapes are no exception. Conserving water in the landscape can be accomplished by selecting low water use plants, designing and scheduling irrigation systems efficiently, grouping plants according to their water requirements, and using hardscaping materials (patios, stone paths, decks, etc.) appropriately to reduce the area requiring irrigation.~~

~~One of the most effective methods to conserve water in the built landscape is to reduce and minimize the amount of irrigated non-native turfgrass. Alternatives to thirsty turfgrass are described further below.~~

ii. Combination of Plant Materials and [Landscape TreatmentsTypes](#)

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable [xeriscapewater-wise](#) landscaping [along with non-living material such as mulch, gravel, boulders, or decorative elements.](#)

~~Typically, a constructed landscape in the built environment includes the following treatments or site finishes:~~

- ~~Hardscape~~

- ~~Parking lots~~
- ~~Driveways~~
- ~~Sidewalks~~
- ~~Patios and public plazas~~

- ~~Softscape~~

- ~~Non-native, turf-forming grass (such as Kentucky bluegrass or turf-type fescue)~~
- ~~Native or adapted grasses~~
- ~~Mulched landscape beds (with organic or inorganic mulches)~~
- ~~Plant material (native, non-native and adaptable trees, shrubs, perennials, annuals)~~

~~The required landscape area shall consist of a minimum of twenty-five (25%) percent living plant material based on mature size of vegetation per Table 5.5-1. Living plant material may be comprised of irrigated turf (when permitted per this code section), native grass, or a water-wise landscape as described in this code section. The foliage crown of deciduous trees shall not may be used in the 25% living material calculation.~~

iii. ~~Zero-scape~~

~~Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.~~

iv. ~~iii. Minimizing Turfgrass~~

~~Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.~~

~~While this landscape treatment is widely used in semi-arid communities throughout the country, it requires large amounts of water and energy to maintain.~~

~~There are many appropriate and important applications for turf, including for civic, community, or recreational purposes such as parks, sports fields, and playgrounds. However, often turfgrass is non-functional and located in areas that receive little, if any use. In this instance there is a high volume of water being used for essentially non-functional ornamental purposes. In most of these cases irrigated turf could be replaced with water-wise landscape treatments without adversely impacting quality of life or landscape functionality.~~

~~By eliminating turfgrass, you drastically reduce the need for mowing and herbicides, and fertilizers that turf needs to thrive. Switching to water-wise landscapes can reduce maintenance costs by up to 60%.~~

~~To the extent possible, irrigated water-wise turfgrass shall be minimized and limited only to the civic, community or recreational applications described above functional areas and not used for strictly ornamental purposes.~~

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- ~~i. Turfgrass shall not be used in narrow, non-functional areas that are difficult to water efficiently without significant overspray. This would include but not be limited to applications such as parking lot and roadway islands, and right-of-way areas between detached sidewalk and back of curb as well as similar street and parkway applications. In addition to being narrow and hard to irrigate efficiently these areas are frequently unshaded and very hot. This requires even greater amounts of water to maintain the health and appearance of turf.~~

~~ii. Single Family Residential Turf~~

~~Front Yard – Irrigated turf in frontage areas shall not exceed 40% of the landscape area or 1,000 sf whichever is less and shall be a minimum of 8' in all directions.~~

~~Side Yard – The use of irrigated turf is generally discouraged in narrow side yard applications.~~

~~Back Yard – Irrigated turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

~~Irrigated sod shall be prohibited except in active recreation areas on all other building types, development sites and landscape tracts unless otherwise approved by the City.~~

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~~Exception: Acceptable waterwise lawn-type grass (alternatives to bluegrass and similar turfgrass species) could include blends or mixes that thrive with minimal irrigation once established, that requires fewer inputs than traditional turf, that provide pollinator support in the form of habitat edges and wildflower borders, that provide a no-mow option growing low and lush without frequent mowing, and that performs well in full sun, partial sun and shaded areas.~~

~~Some seed species and mix types are described below. These are provided as general examples. The city recommends working with a landscape professional, county extension, or other knowledgeable professionals when selecting a seed mix for your site and conditions:~~

- ~~Shortgrass Prairie Turf Mix (blue grama–buffalograss dominant)~~
- ~~Native Low-Grow Turf Mix (blue grama, buffalograss, Sandberg bluegrass)~~
- ~~Open Space Mix (western wheatgrass with shortgrasses)~~
- ~~Native Lawn Alternative Mix (native grasses with limited fine fescue)~~

~~These alternative grass solutions should not be viewed as a universal alternative to non-native turfgrass in all instances but rather another option to consider when developing a landscape plan. These alternative lawn types typically do not support the same foot traffic and physical impact that turf-forming grass can tolerate and have very specific lighting requirements.~~

v. Traditional Spray Irrigation

~~Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described above in this code. Even the lower water use natives and adapted alternates to turfgrass will require some overhead spray irrigation to establish and to remain robust enough to thrive and compete with invasive weed species. All other irrigation systems shall be drip or micro spray systems.~~

vi. Minimizing Synthetic Turf

~~As with non-native turf grass, there are many appropriate and important applications for synthetic (artificial) turf, including for high use civic, community, or recreational applications such as sports fields, and playgrounds. And like non-native turfgrass, synthetic turf can have negative environmental impacts. In some situations, synthetic turf has been found to exacerbate heat island effects in urban areas and releasing harmful chemicals.~~

~~To the extent possible, synthetic turf shall be minimized and limited only to the civic, community or recreational applications described above and not used for strictly ornamental purposes. shall include a minimum of one tree to reduce "heat-island" effect.~~

~~Exception: Synthetic turf used for recreational purposes such as ballfields.~~

~~— Synthetic turf shall not be used in narrow, non-functional areas in front yards or in commercial landscapes.~~

~~— Single Family Residential Turf~~

~~— Front Yard— Synthetic turf shall be prohibited in front yards for strictly ornamental purposes and unless otherwise approved by the City.~~

~~— Back Yard— Irrigated turf, synthetic turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

iii.vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

**E.F. Completion of Required Landscaping for New Development**

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

Exception: Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

ii. Landscape Completion Agreement

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the

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required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

**5.5.2 Alternate Landscape Plan**

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Residential, Commercial, or Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan; ~~and~~
- Whether the plan considers water-wise landscape practices; and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

~~Under no circumstances shall an alternate landscape plan be approved if the plan would result in a reduction to any of the required landscape buffers or if the plan would eliminate a required landscape category.~~

**5.5.3 Landscape Requirements**

**A. Internal Landscaping**

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

**Table 5.5-1 Internal Landscaping Calculations**

<b>Development Type</b>	<b>Property Size</b>	<b>Percentage of Site Required to be Landscaped</b>	<b>Percentage of Landscaped Area Required to be Living Plant Material</b>	<b>Number of Internal Trees Required</b>
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Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%)	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%)	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

i. Exceptions to Internal Landscaping Requirements

a. Developments with approved Alternate Landscape Plans.

b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

**A.B. Street Trees/Roadway Landscaping**

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

i. Type A Development Exception

Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.

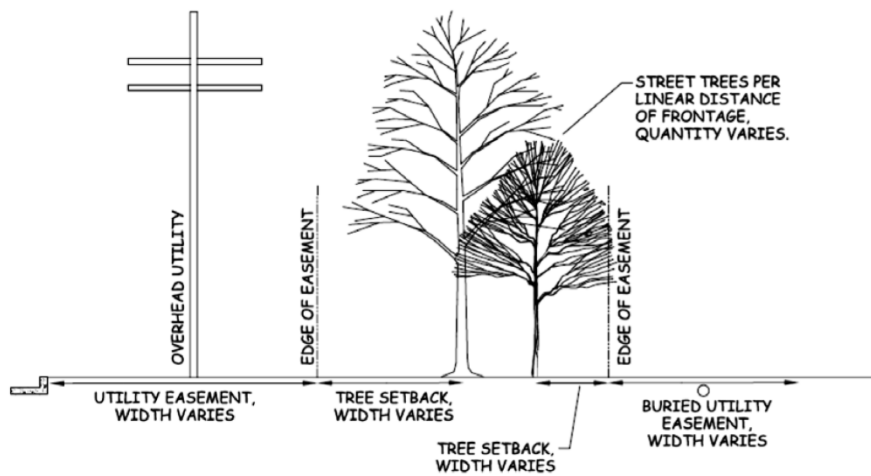
i.ii. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-12 (see also Figure 5.5-2 below for an example of street tree setbacks).

**Table 5.5-12 Street Tree Requirements**

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

**Figure 5.5-2: Example of street tree setbacks.**



ii-iii. Approved Street Tree Species

The use of any tree species not identified in Table 5.5-23 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the [Community Development Parks and Recreation](#) Director.

**Table 5.5-23 Authorized Street Tree Species**

Common Name	Botanical Name	Minimum Caliper Size/Height
<b>Small Trees (also suitable for planting under or near overhead utilities)</b>		
Rocky Mountain Maple	<i>Acer glabrum</i>	<b>Broadleaf Trees</b> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper  NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Norway Maple	<i>Acer platanoides</i>	
Shangtung Maple	<i>Acer truncatum</i>	
Apple Serviceberry	<i>Amelanchier x grandiflora</i>	
Eastern Redbud	<i>Cercis canadensis</i>	
Cornelian Cherry	<i>Cornus mas</i>	
Russian Hawthorn	<i>Crataegus ambigua</i>	
Thornless Cockspur Hawthorn	<i>Crataegus crus-galli inermis</i>	
Amur Maackia	<i>Maackia amurensis</i>	

Prairie Rose Crabapple (fruitless)	Malus ioensis	<u>Conifer Trees</u> <ul style="list-style-type: none"> <li>• Shall be a minimum of five (5) feet in height at the time of planting for all uses.</li> </ul>
China Snow Lilac	Syringa pekinensis	
Summer Charm Lilac	Syringa pekinensis	
Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	
<b>Medium Trees</b>		
Trident Maple	Acer buergeranum	<u>Broadleaf Trees</u> <ul style="list-style-type: none"> <li>• All residential except multi-family residential = 1.5" caliper</li> <li>• Multi-Family Residential = 2" caliper</li> <li>• Business/Commercial and Industrial = 2.5" caliper</li> </ul> <p>NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.</p> <u>Conifer Trees</u> <ul style="list-style-type: none"> <li>• Shall be a minimum of five (5) feet in height at the time of planting for all uses.</li> </ul>
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	
Common Alder	Alnus glutiosa	
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	
<b>Large Trees</b>		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> <ul style="list-style-type: none"> <li>• All residential except multi-family residential = 1.5" caliper</li> <li>• Multi-Family Residential = 2" caliper</li> <li>• Business/Commercial and Industrial = 2.5" caliper</li> </ul> <p>NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.</p> <u>Conifer Trees</u> <ul style="list-style-type: none"> <li>• Shall be a minimum of five (5) feet in height at the time of planting for all uses.</li> </ul>
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iii-iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (Acer negundo)
- Siberian elms (Ulmus pumila)
- Any of the poplar (Populus) species including cottonwoods, poplars, and aspens
- Any willow (Salix) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (Fraxinus) species
- Walnut (Juglans) species
- Silver maple (Acer saccharinum),
- Freeman maple (Acer x freemannii)
- Sunburst honeylocust (Gleditsia triacanthos inermis 'Sunburst')
- Bradford pear (Pyrus calleryana 'Bradford')
- Mulberry (Morus) species
- Russian-olive (Elaeagnus angustifolia)
- Tree-of-heaven (Ailanthus altissima).

**B. Internal Landscaping**

~~Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable xeriscaping water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5.2-3 below. Internal landscaping requirements shall be in addition to the requirements for street trees, buffering, and screening. All remaining open soil areas of the site that have been disturbed by construction that are not landscaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.~~

**Table 5.5-3 Internal Landscaping Calculations**

Development Type	Property Size	Percentage of Site Required to be Landscaped
Single-Family Residential, Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0—19,999 square feet	Ten percent (10%)
	20,000 square feet — one (1) acre	Eight percent (8%)
	Over one (1) acre	Six percent (6%)
Commercial and Industrial by Type A or Type B	0— one (1) acre	Fifteen percent (15%) <del>No % requirement— see buffer section 5.5.3C.</del>
	Over one (1) acre	<del>No % requirement— see buffer section 5.5.3C.</del> Twenty percent (20%)
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	Twenty percent (20%) of the net developable site. Perimeter and parking lot landscaping areas can be included toward meeting the requirement.

i. Internal Landscaping Requirements

~~One (1) tree shall be provided within the internal landscape area for every 500 square feet of required internal landscape area. A minimum of 75% required internal landscape area shall be vegetated with live ground cover.~~

ii.—Internal Landscaping Shall Not Create An Obstruction

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii.—Exceptions to Internal Landscaping Requirements

Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsections 5.5.2.G and H below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.2.F.i. below

C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section except where adjacent to a similar lot. (provide example).

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i.—Landscape Setbacks

Landscaping shall be located and installed within the landscape setback between differing uses and differing zoning districts. Landscape setbacks shall be located outside of existing or proposed easements and existing or proposed public rights-of-way.

ii.—Obstructions Prohibited

No tree, shrub, or other landscaping treatment installed for the purposes of buffering or screening shall be located in the front or side yard of a lot or parcel in a manner that could create an obstruction interfering with any of the following:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii.i.—Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

iv.ii.—Parking Lot Buffering and Screening

a.—Required Parking Lot Buffer

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~~Parking lots and loading areas shall provide a minimum five (5) foot landscape buffer around the perimeter of the parking lot or loading area except in areas necessary to provide vehicular access to the site.~~

~~b.a. Screened Buffering from Rights-of-Way~~

~~Parking lots shall be screened buffered from adjacent public rights-of-way with a combination of plantings, xeriscaping materials, and landscaped berms. Any landscaping or xeriscaping treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at the time of installation full maturity.~~

~~e.b. Adjacent to Residential Uses~~

~~Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, xeriscaping materials, landscaped berms, and/or one hundred (100%) percent opaque fences or decorative walls. Any landscaping or xeriscaping treatments installed to screen parking lots from residential uses shall be at least three (3) feet in height at the time of installation.~~

~~d. Required Screening~~

~~Any parking lot buffer area within which a decorative screening wall is proposed shall also include live ground cover over a minimum of 75% of the buffer area.~~

**D. Refuse Storage Screening**

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-32 below for an example of refuse storage screening).

i. Refuse Containers

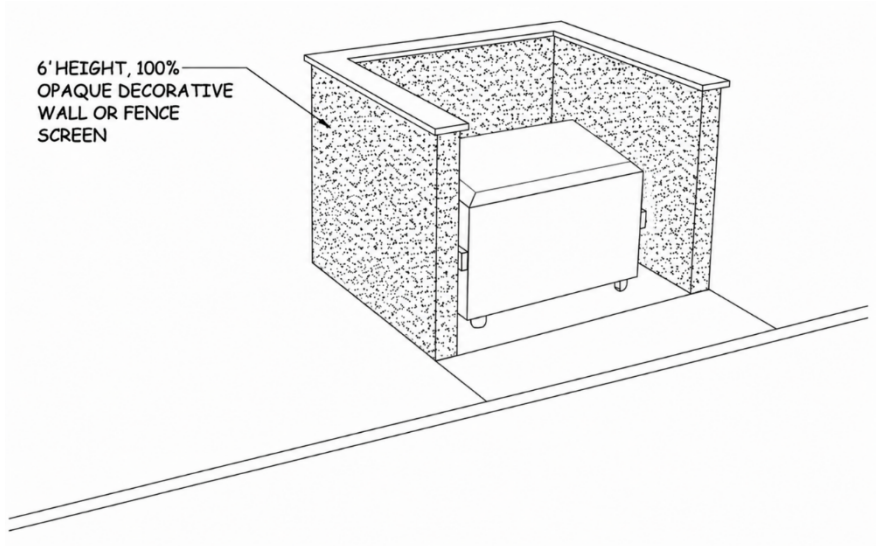
Refuse container enclosures shall be surrounded on three (3) sides by a one hundred (100%) percent opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

ii. Screening Requirements

~~The non-access sides of the enclosure shall also have an additional three (3) foot landscape buffer around the perimeter of the enclosure and shall be screened with a minimum of 75% ground live ground cover or, additional landscape plantings, or xeriscaping materials if the enclosure will be visible from a residential zoning district or an existing residential use.~~

**Figure 5.5-3: Example of refuse storage screening.**

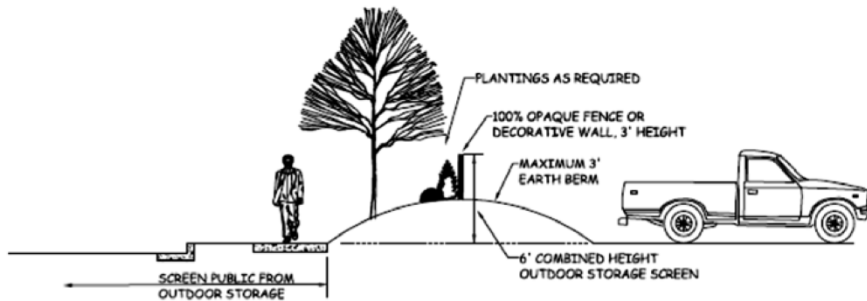
Commented [CC6]: Ask David to redraw this figure without the landscape buffer.



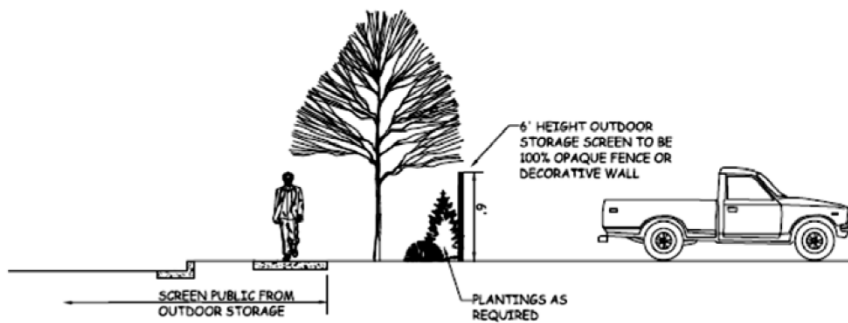
**E. Outdoor Storage Screening (Commercial and Industrial)**

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, ~~xeriscaping materials~~, landscaped berms, ~~and/or one hundred (100%) percent~~ opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

**Figure 5.5-4: Examples of outside storage screening.**



OUTDOOR STORAGE SCREENING WITH EARTH BERM



OUTDOOR STORAGE SCREENING WITHOUT EARTH BERM

**F. Commercial Buffering and Screening Requirements**

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts. Screening may include with a combination of plantings, xeriscaping materials, landscaped earthen berms, and a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

**i. Required Landscape Buffer**

Commercial uses adjacent to a residential zoning district shall provide a minimum 20-foot landscape buffer around the perimeter of the subject property. Landscape buffers shall include a minimum of 75% live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of 30% of the landscape buffer area shall be covered with natural turf or native grasses.

**ii. Required Screening**

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a commercial use from an adjacent residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when

combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

#### G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts. ~~Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, with a combination of plantings, xeriscaping materials, landscaped berms, and one hundred (100) percent opaque decorative screening walls.~~

##### i. Required Landscape Buffer

~~Where an industrial use abuts a non-industrial zone district or public right-of-way, the industrial use shall provide a minimum of twenty-five-foot landscape buffer. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials.~~

~~A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.~~

##### ii. Required Screening

~~Industrial uses adjacent to a non-industrial use shall be screened with a combination of landscaped berms and decorative walls. A minimum of one (1) tree for every thirty (30) feet of common property line with a non-industrial use shall be provided along the outside face of the wall to reduce a negative visual-massing effect. A maximum of thirty (30) percent of the required wall trees may be substituted at a rate of fifteen (15) shrubs for each required tree. One-third (1/3) of the required trees shall be evergreen with a minimum height at maturity of six (6) feet to provide a year-round visual screening effect. The Community Development Director, in approving a Type A Development Plan, or the City Council, in approving a Type B or Type B-LSR Development Plan, may authorize an alternate screening plan to meet the industrial screening requirements.~~

##### iii. Industrial Screening ~~Fences, Walls, & Combinations~~Walls

~~Screening fences or walls shall be at least six (6) feet in height including when used in combination with landscaped berms. When using a combination of berms and fences or walls, The Community Development Director may permit an opaque fence to meet the required screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.~~

#### H. Residential Landscaping Requirements

##### i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used **exclusively** for the planting and growing of trees, shrubs, **lawns**, gardens, **xeriscaping**, and other **water-wise** ground covering or landscaping material approved by the City. **Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged.** Each single-family residential site plan

shall provide for the planting of a minimum of one (1) ~~street tree, pursuant to the street tree requirements of this Chapter.~~ No other landscaping requirements shall apply to single-family residential uses.

ii. **Multi-Family Residential Buffering Requirements**

~~All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.~~

~~Multi-family uses abutting a single-family residential or non-residential use shall provide a minimum fifteen-foot landscape buffer along the shared property line. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.~~

iii. ~~Multi-Family Residential Screening Requirements~~

~~A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a multi-family residential use from an adjacent single-family residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or one hundred (100) percent opaque fences or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen multi-family residential uses from single-family residential uses. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.~~

I. **Manufactured and Mobile Home Parks / ~~Travel Trailer and RV Parks~~**

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts. ~~Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, with a combination of plantings, xeriscaping materials, landscaped earthen berms, and one hundred (100) percent opaque fences and decorative screening walls.~~

~~All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.~~

The City Council, in approving a Type B Development Plan ~~for a manufactured or mobile home park~~, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

i. Landscaping Plan Required

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

iii. Internal Landscape Requirements

A minimum of ten (10%) percent of the gross site area ~~of a manufactured and/or mobile home park~~ shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

iv. Required Landscape Buffer

Manufactured and/or mobile home parks ~~or travel trailer and RV parks~~ abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer. ~~Buffering pursuant to the requirements in Table 5.5-4 below, may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.~~ Landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

**Table 5.5-4 Minimum Manufactured/Mobile Home Park Landscape Buffers**

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
<b>Landscape Buffer</b>	15 feet*	10 feet*	20 feet*

\* NOTE: Where a manufactured and/or mobile home park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v. Required Landscape Screening

A minimum of one (1) tree shall be required for every twenty-five (25) linear feet of buffer area. A maximum of thirty (30) percent of the required trees may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi.v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Manufactured and/or mobile home parks ~~or travel trailer and RV parks~~ shall be buffered from adjacent public rights-of-way. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

shall provide a minimum six (6) foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when

combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

**J.—Travel Trailer and RV Parks**

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped berms, and decorative walls. The City Council, in approving a Type B Development Plan for a travel trailer or RV park, may require increased landscape buffers and screening between the proposed travel trailer and RV park site and the adjacent use if such park is adjacent to a visually sensitive existing land use.

**i.—Landscape Plan Required**

All travel trailer or RV park development plans shall include a landscaping plan for the entire plan area.

**ii.—Compliance with General Landscape Requirements of this Section**

Travel trailer and RV parks shall comply with the general landscape requirements in Section 5.5.1 above.

**iii.—Internal Landscape Requirements**

A minimum of ten (10) percent of the gross site area of a travel trailer and RV park shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted for every six hundred (600) square feet of designated park and recreation area.

**iv.—Required Landscape Buffer**

Travel trailer or RV parks abutting a residential, commercial, or industrial zoning district shall provide landscape buffers pursuant to the requirements in Table 5.5-5 below. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

**Table 5.5-5 Minimum Travel Trailer/RV Park Landscape Buffers**

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
<b>Landscape Buffer</b>	15 feet*	10 feet*	20 feet*

\* NOTE: Where a travel trailer and RV park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

**v.—Required Landscape Screening**

A minimum of one (1) tree shall be required for every thirty (30) linear feet of buffer area. A maximum of thirty (30) percent of the required trees for may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees

shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi. ~~Screening Requirements When Adjacent to Public Streets or Rights-of-Way~~

~~Travel trailer and RV parks shall provide a minimum six-foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.~~

**K.J. Irrigation and Maintenance**

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

~~Commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park-~~Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health ~~unless otherwise approved as a xeriscaping alternative.~~ Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

**K. Obstructions Prohibited**

~~Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:~~

- ~~• The view of vehicular traffic within the sight line triangle at any street or alley intersection;~~
- ~~• The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or~~
- ~~• Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.~~

PASSED AND APPROVED ON FIRST READING this ~~11th~~ day of ~~May~~ 22nd day of June, 2026.

PASSED AND APPROVED ON SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Kim Pexton, Mayor

**Attest:**

\_\_\_\_\_  
Devon Litzsinger, City Clerk

*Published:* \_\_\_\_\_

**ATTESTATION**

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

\_\_\_\_\_  
Devon Litzsinger, City Clerk

DRAFT



## Agenda Item Report City Council – June 22, 2026

### Item

**Resolution 2026-30:** A Resolution of the City of Douglas, Wyoming, Prohibiting the Ignition, Discharge, Sale, Possession for Use, and Use of Fireworks Otherwise Permitted Under Chapter 8.08 of the Douglas Municipal Code Upon the Effective Date of Ordinance No. 1071

### Responsible Staff Contact

Michele Carter

### Recommendation

### Executive Summary

Resolution 2026-30 coincides with Ordinance 1071, which amends section 8.08.010 for fireworks prohibitions. This resolution establishes the timing of the fireworks prohibitions to November 1, 2026, unless rescinded by subsequent resolution by the City Council.

### Background

This resolution is in reference to the fire ban conversation during the Council meeting on June 8, Ordinance 1071 and the recent announcement of the cancellation of the public fireworks show.

### Alignment to Strategic Doing (SD) and/or Other Plans

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### Budget/Fiscal Impact

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

## **Action Requested/Recommended Motion**

### **Attachments**

1. 2026-30 Fireworks

---

**RESOLUTION NO. 2026-30****A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DOUGLAS, WYOMING, PROHIBITING THE IGNITION, DISCHARGE, SALE, POSSESSION FOR USE, AND USE OF FIREWORKS OTHERWISE PERMITTED UNDER CHAPTER 8.08 OF THE DOUGLAS MUNICIPAL CODE UPON THE EFFECTIVE DATE OF ORDINANCE NO. 1071.**

---

**WHEREAS**, the City Council of the City of Douglas finds that dry vegetation, drought conditions, weather conditions, and other factors may create an elevated risk of wildfire and property damage within and surrounding the City; and

**WHEREAS**, the City Council has adopted Ordinance No. 1071, amending Section 8.08.010 of the Douglas Municipal Code to authorize the Council, by resolution, to prohibit fireworks otherwise permitted under Chapter 8.08 when necessary to protect the public health, safety, and welfare; and

**WHEREAS**, the City Council finds that prohibiting the ignition, discharge, sale, possession for use, and use of fireworks otherwise permitted under Chapter 8.08 is necessary to protect the public health, safety, and welfare due to the current fire danger and associated risks to persons and property.

**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING,**

Section 1. Findings. The foregoing recitals are incorporated herein as findings of the City Council.

Section 2. Fireworks Prohibited. Pursuant to Section 8.08.010(D) of the Douglas Municipal Code, upon the effective date of Ordinance No. 1071, the ignition, discharge, sale, possession for use, and use of any fireworks otherwise permitted under Chapter 8.08 of the Douglas Municipal Code, including Novelty Consumer Fireworks, are hereby prohibited within the corporate limits of the City of Douglas.

Section 3. Duration. The prohibition established by this Resolution shall remain in effect until rescinded by subsequent resolution of the City Council or until November 1, 2026, whichever occurs first.

Section 4. Notice. The City Clerk, City Manager, and such other City officials as may be appropriate are authorized and directed to provide public notice of this prohibition in a manner reasonably calculated to inform the public, including publication on the City's official website, social media platforms, local news media, and such other means as may be appropriate.

Section 5. Enforcement. Any person violating this Resolution and Section 8.08.010(D) of the Douglas Municipal Code shall be subject to the penalties and enforcement provisions set forth in the Douglas Municipal Code.

Section 6. Effective Date. This Resolution is adopted on the date set forth below; however, Sections 2 through 5 of this Resolution shall become effective simultaneously with and only upon the effective date of Ordinance No. 1071 amending Section 8.08.010(D) of the Douglas Municipal Code.

**PASSED, APPROVED, AND ADOPTED** this 22nd day of June, 2026.

---

Kim Pexton, Mayor

**Attest:**

---

Devon Litzsinger, City Clerk



## Agenda Item Report City Council – June 22, 2026

### Item

**Resolution 2026-31:** A Resolution Setting Charges and Maintaining an Automatic Inflationary Measure for the Municipal Water, Sewer, Sanitation Collection, and Solid Waste Disposal Systems for the City of Douglas, Wyoming, Effective July 1, 2026.

### Responsible Staff Contact

### Recommendation

Approve resolution 2026-31 as presented.

### Executive Summary

#### Water Fund:

Operating expenditure; Depreciation: \$850,000; Capital Outlay: \$2,500,000; and Reserve for major upcoming projects: \$500,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$6.9 million. While this is above our target reserve of \$4 million it provides available funding for large future capital outlay anticipated in the next fiscal year.

The 4% inflationary increase is recommended for FY2627. Additionally, it is recommended to change the tiered usage values along with various other user fees assessed for the water fund.

#### Sewer Fund:

Operating expenditure; Depreciation: \$460,000; Capital Outlay: \$1,000,000; and Debt Service: \$250,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$449,000. While this meets a 25% operating reserve it is below our target reserve of \$2 million.

Implementation of a demand charge based on capacity unit, increasing the volume charge by the 4% inflationary rate, and reducing the customer service charge is recommended for the sewer rates in FY2627.

#### Sanitation:

Operating expenditure; Depreciation: \$55,000; and Capital Outlay: \$40,000; were used for

reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$689,000. While this is above our target reserve of \$450,000 it places us in a good financial position for future capital outlay.

No increase to the utility bill rates is recommended for the sanitation fund for FY2627. However, other service fees are recommended to increase.

**Landfill:**

Operating expenditure; Depreciation: \$105,000; and Capital outlay: \$725,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$757,000. While this meets our target operating reserve it is below our operating and capital reserve target.

A free landfill pass (one vehicle under 8 foot) is provided to all sanitation customers as a service for the fees paid. As this is a service provided for the sanitation fees charged it is recommended sanitation pay landfill for the associated fees.

Increasing the vehicle: per ton fee and implementing charges for items now accepted for no cost is recommended along with allowing the free pass to be extended as a \$30.00 credit for vehicle: per ton.

**Background**

The resolution passed in 2024 implemented an annual automatic inflationary minimum increase of 4% or the Wyoming Cost of Living Index fourth quarter annual inflation rate for central region whichever is greater. The fourth quarter inflation rate was 2.6% and therefore, effective July 1, 2026, all utility rates will increase by 4%. While the inflationary increase is important to maintain it only applies to user charges reflected on the utility bill. Following review of the enterprise funds, a more targeted rate change for utility bill rates and other service fees is recommended to better address deficiencies.

**Alignment to Strategic Doing (SD) and/or Other Plans**

- SD Commitment
- SD Commitment Strategy
- SD Commitment KPI
- SD Outcome
- SD Outcome Strategy
- SD Outcome KPI
- 2014 Master Plan
- 2015 Downtown Master Plan

**Budget/Fiscal Impact**

Fund/Department

Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

**Action Requested/Recommended Motion**

I move to approve resolution 2026-31 as presented.

**Attachments**

1. Resolution 2026-31
2. Rate Recommendation 06-2026

RESOLUTION NO. 2026-31

**A RESOLUTION SETTING CHARGES AND MAINTAINING AN AUTOMATIC INFLATIONARY MEASURE FOR THE MUNICIPAL WATER, SEWER, SANITATION COLLECTION, AND SOLID WASTE DISPOSAL SYSTEMS OF THE CITY OF DOUGLAS, WYOMING, EFFECTIVE JULY 1, 2026.**

**WHEREAS**, Section 13.08.010 (B); 13.12.040 (E); 13.12.060 (A); 13.120.070 (A); 13.28.037; 13.44.030 (C); 13.44.050 (B) and 13.64.030 (B & C) of the Municipal Code for City of Douglas, Wyoming (City) establishes rates and charges for the operation of the municipal water, sewer, sanitation collection and solid waste disposal systems, and;

**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING,**

Section 13.08.010 (B) of the Douglas Municipal Code is hereby amended to read as follows:

B. The plant investment fee for connections to the city water system shall be determined by the following schedule. For metered connections larger than four (4) inches in diameter, the plant investment fee shall be negotiated by the city administrator based upon projected water usage at the facility versus the maximum flow rate through a one (1) inch diameter meter.

Connection Size	Unit Capacity Value (Equivalent Meter Diameter)	Base Plant Investment Fee	Metering Equipment and Services
¾ inch or 1 inch connection	1.0	<del>\$2,950.00</del> 3,700.00	<del>\$375.00</del> 470.00
1 ½ inch connection	2.0	<del>5,900.00</del> 7,400.00	<del>750.00</del> 940.00
2 inch connection	3.2	<del>9,440.00</del> 11,840.00	<del>1,200.00</del> 1,504.00
3 inch connection	6.0	<del>17,700.00</del> 22,200.00	<del>2,250.00</del> 2,820.00
4 inch connection	11.0	<del>34,250.00</del> 40,700.00	<del>4,125.00</del> 5,170.00

Section 13.12.040 (E) of the Douglas Municipal Code is hereby amended to read as follows:

E. Charges shall be made in accordance with the provisions of this chapter and the following schedule:

a. Customer service charge: per customer account, per month	<del>\$6.25</del> 6.50
b. Demand Charge: per capacity unit, per month	<del>35.25</del> 36.65
c. Commodity charge: per 1,000 gallons, per month	
<del>1,000 gallons through 30,000 gallons</del>	<del>3.26</del>
1,000 gallons through 20,000	3.40
<del>31,000 gallons through 60,000 gallons</del>	<del>4.19</del>
21,000 gallons through 40,000 gallons	4.35
<del>61,000 gallons through 90,000 gallons</del>	<del>5.25</del>
41,000 gallons through 60,000 gallons	5.45
<del>91,000 gallons through 120,000 gallons</del>	<del>6.56</del>
61,000 gallons through 80,000 gallons	6.80
<del>121,000 gallons through 150,000 gallons</del>	<del>8.20</del>
81,000 gallons through 100,000 gallons	8.50
<del>151,000 gallons through 180,000 gallons</del>	<del>10.26</del>
101,000 gallons through 120,000 gallons	10.60
<del>181,000 gallons and over</del>	<del>12.82</del>
121,000 gallons and over	13.25

d. Ancillary/service charges	
i. Water turn-on/turn-off – regular hours – Customer request (reconnect/disconnect)	40.00 45.00
ii. Water turn-on/turn-off – after hours – Customer request (reconnect/disconnect)	80.00 90.00
iii. Water shutoff for non-payment and service restoration – regular hours	80.00 90.00
iv. Water shutoff for non-payment and service restoration – after hours	160.00 180.00
v. Installing/pulling meter – Customer request	70.00 75.00
vi. Meter and supplies	Cost

Section 13.12.060 (A) of the Douglas Municipal Code is hereby amended to read as follows:

- A. Treated water delivered through the city’s fill station shall be sold at a rate of ~~ten dollars (\$10.00)~~ **fifteen dollars (\$15.00)** per thousand (1,000) gallons **for residential purposes and twenty dollars (\$20.00) per thousand (1,000) gallons for commercial purposes.**, ~~with the exception of any user who is under an agreement with the city pursuant to Wyoming Statute Section 41-3-110, as amendment, and purchases treated water delivered through the city’s fill station which shall be sold at a rate of fifteen dollars (\$15.00) per thousand (1,000) gallons. Untreated or raw water pumped from the river at the city’s point of diversion shall be charged at a rate negotiated by the city administrator. Raw water shall be sold for irrigation and construction purposes only.~~

Section 13.12.070 (A) of the Douglas Municipal Code is hereby amended to read as follows:

- A. Property owner shall be responsible for payment of all utility bills unless property owner assigns tenant responsibility for payment of such bills. Such assignment shall be in writing. All utility bills shall be sent to the property owner or tenant on a monthly basis. All monthly charges for water shall be due and payable on the twentieth of each month. If payment is not made by the twentieth of the month, the account shall be deemed delinquent and account shall be subject to ~~ten dollars (\$10.00)~~ **fifteen dollars (\$15.00)** rebilling charge. If payment is not received within thirty (30) days after initial billing, a letter shall be sent to the owner and tenant at the mailing address(es) on file. The letter shall state:

Section 13.28.037 of the Douglas Municipal Code is hereby amended to read as follows:

Septic Waste: Converse County Only – No loads originating outside Converse County corporate limits will be accepted	<del>\$80.00</del> 100.00 per 500 gallons
Grease: City of Douglas only – Commercial sources located within the corporate limits of the City of Douglas	<del>\$80.00</del> 100.00 per 500 gallons
Call out fees: After regular business hours of Monday thru Friday, 7:30 AM to 11:30 AM and 1:30 PM to 3:30 PM and City designated holidays	<del>\$95.00</del> 125.00 per unit

Section 13.44.030 (C) of the Douglas Municipal Code is hereby amended to read as follows:

- C. Charges shall be made in accordance with the provisions of this chapter and the following schedule:

a. Residential – Single family – Multifamily	
i. Customer service charge, <b>per account</b> , per month	<del>4.35</del> 2.25
ii. Volume charge, per 1,000 gallons (based on winter quarter average), per month	<del>7.67</del> 8.00
iii. <b>Demand charge, per capacity unit, per month</b>	12.50
b. Commercial	
i. Customer service charge, <b>per account</b> , per month	<del>4.35</del> 2.25

ii. Volume charge, per 1,000 gallons or any portion thereof (based on monthly water usage)	<del>7.67</del> 8.00
iii. Demand charge, per capacity unit, per month	12.50

Section 13.44.050 (B) of the Douglas Municipal Code is hereby amended to read as follows:

B. The plant investment fee for connections to the city wastewater system shall be determined by the following schedule. This fee does not include the cost to excavate and install the tap to the main and the service line to the property including excavation and surface restoration charges.

Water Meter or Service Size	Unit Capacity Value	Plant Investment Fee
¾ inch or 1 inch connection	1.00	<del>\$1,180.00</del> 1,500.00
1 ½ inch connection	2.0	<del>2,360.00</del> 3,000.00
2 inch connection	3.2	<del>3,776.00</del> 4,800.00
3 inch connection	6.0	<del>7,080.00</del> 9,000.00
4 inch connection	11.00	<del>12,980.00</del> 16,500.00

Section 13.64.030 (B & C) of the Douglas Municipal Code are hereby amended to read as follows:

B. Other sanitation collection and solid waste disposal rates and charges:

Activation Fee – New service, per dumpster or rollout requested	<del>\$135.00</del> 170.00
Extra collection – Dumpster or roll-out, per collection	<del>\$50.00</del> 60.00
Additional roll-outs or dumpsters – Residential, per rollout or dumpster requested	\$7.40 disposal charge
Manual collection of material outside of dumpster (appliances, tree limbs, etc.)	<del>\$50.00</del> 60.00 per incident
Penalty fees – Heavy or extremely dense waste	<del>\$55.00</del> 65.00

C. Solid waste facility disposal rates and charges:

Vehicle: Under 8 foot Flat fee	\$30.00
Vehicle: Per ton	<del>150.00</del> 180.00
Clean yard or green waste Grass/Leaves: Clean Manure/Hay: Per ton Trees: Commercial Hauler: Per ton	No charge 20.00 10.00
Recyclable materials accepted	No charge
Metals or appliances: Clean	No charge
Concrete Concrete: Commercial Hauler: Per ton	No charge 10.00
Asphalt Asphalt: Commercial Hauler: Per ton	No Charge 10.00
Tires: Passenger car and pickup tires: 18" rim: Per tire	<del>10.00</del> 12.00
Tires: Truck: Larger than 18" rim: Per tire	<del>30.00</del> 36.00
Tires: Equipment: Tractors, scrapers, loaders, etc.	<del>200.00</del> 240.00
Shredded tires: Per ton	<del>160.00</del> 190.00
Uncovered load	<del>11.00</del> 13.00 plus load fee
Mud	<del>160.00</del> 190.00
Coal	<del>160.00</del> 190.00
Freon containing appliances	Banned
Liquids, liquid petroleum products and unauthorized hazardous materials	Banned
Sorting fee: Commercial hauler: Municipal solid waste and wind blowable materials: Per load	50.00

<b>Loading fee: Per load</b> Dump truck Semi-truck	10.00 25.00
--	----------------

**BE IT FURTHER RESOLVED**, to maintain an annual automatic inflationary minimum increase of four percent (4%) or the Wyoming Cost of Living Index fourth quarter annual inflation rate for central region as provided by Wyoming Administration & Information Economic Analysis Division whichever is greater beginning July 1, 2027, and thereafter.

Passed, Approved and Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

APPROVED:

\_\_\_\_\_  
Kim Pexton, Mayor

Attest:

\_\_\_\_\_  
Devon Litzsinger, City Clerk

**UTILITY RATE RECOMMENDATIONS**

The resolution passed in 2024 implemented an annual automatic inflationary minimum increase of 4% or the Wyoming Cost of Living Index fourth quarter annual inflation rate for central region whichever is greater. The fourth quarter inflation rate was 2.6% and therefore, effective July 1, 2026, all utility rates will increase by 4%. While the inflationary increase is important to maintain it only applies to user charges reflected on the utility bill. Following review of the enterprise funds, a more targeted rate change for utility bill rates and other service fees is recommended to better address deficiencies.

Following are the considerations and recommendations for all fees in the water, sewer, sanitation, and landfill funds.

**Water Fund:**

Operating expenditure; Depreciation: \$850,000; Capital Outlay: \$2,500,000; and Reserve for major upcoming projects: \$500,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$6.9 million. While this is above our target reserve of \$4 million it provides available funding for large future capital outlay anticipated in the next fiscal year.

The 4% inflationary increase is recommended for FY2627. Additionally, it is recommended to change the tiered usage values along with various other user fees assessed for the water fund.

Bill comparison: 10,000-gallon usage. Current: \$74.10. Recommended: \$77.05.

	Current	Great Rates Proposed 2018	4% Inflationary	Needed	Recommend
Customer Service	6.25	0.00	6.50	7.71	6.50
Demand: Per capacity unit	35.25	38.57	36.66	85.94	36.65
Commodity: Per 1,000 gallons				4.95 / 11.61	
0 to 30,000 1 to 20,000	3.26	2.82	3.39		3.40
31,000 to 60,000 21,000 to 40,000	4.19	3.63	4.36		4.35
61,000 to 90,000 41,000 to 60,000	5.25		5.46		5.45
91,000 to 120,000 61,000 to 80,000	6.56		6.82		6.80
121,000 to 150,000 81,000 to 100,000	8.20		8.53		8.50
151,000 to 180,000 101,000 to 120,000	10.26		10.67		10.60

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181,000 and above 121,000 and above	12.82		13.33		13.25
Other:					
Late charge	10.00				15.00
Bulk Water: Per 1,000 gallons Residential Commercial	10.00				15.00 20.00
Water turn on/turn off: Regular hours	40.00				45.00
Water turn on/turn off: After hours	80.00				90.00
Water shutoff for non- payment & service restoration: Regular hours	80.00				90.00
Water shutoff for non- payment & service restoration: After hours	160.00				180.00
Install/pulling meter	70.00				75.00
Meter and supplies Cost					Cost
Plant Investment:					
¾" or 1" connection	2,950.00				3,700.00
1 ½" connection	5,900.00				7,400.00
2" connection	9,440.00				11,840.00
3" connection	17,700.00				22,200.00
4" connection	32,450.00				40,700.00
Metering equipment & services:					
¾" or 1" connection	375.00				470.00
1 ½" connection	750.00				940.00
2" connection	1,200.00				1,504.00
3" connection	2,250.00				2,820.00
4" connection	4,125.00				5,170.00

**Sewer Fund:**

Operating expenditure; Depreciation: \$460,000; Capital Outlay: \$1,000,000; and Debt Service: \$250,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$449,000. While this meets a 25% operating reserve it is below our target reserve of \$2 million.

101 N. 4<sup>TH</sup> STREET | P.O. BOX 1030 | DOUGLAS, WY 82633  
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Implementation of a demand charge based on capacity unit, increasing the volume charge by the 4% inflationary rate, and reducing the customer service charge is recommended for the sewer rates in FY2627.

Bill comparison: 10,000-gallon average. Current: \$81.05. Recommended: \$94.75.

	Current	Great Rates Proposed 2018	4% Inflationary	Needed	Recommend
Customer Service	4.35	0.00	4.52	2.21	2.25
Demand: Per capacity unit	0.00	20.28			12.50
Volume: Per 1,000 gallons	7.67	5.46	7.98	19.59	8.00
Other:					
Septic Waste: Per 500 gallons	80.00				100.00
Grease: Per 500 gallons	80.00				100.00
Call out fee	95.00				120.00
Plant Investment:					
¾" or 1" connection	1,180.00				1,500.00
1 ½" connection	2,360.00				3,000.00
2" connection	3,776.00				4,800.00
3" connection	7,080.00				9,000.00
4" connection	12,980.00				16,500.00

**Sanitation:**

Operating expenditure; Depreciation: \$55,000; and Capital Outlay: \$40,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$689,000. While this is above our target reserve of \$450,000 it places us in a good financial position for future capital outlay.

No increase to the utility bill rates is recommended for the sanitation fund for FY2627. However, other service fees are recommended to increase.

	Current	Great Rates Proposed 2018	4% Inflationary	Needed	Recommend
Customer Service	5.29	0.00	5.50	4.73	5.29
Volume	11.79	13.49	10.28	10.32	11.79
Disposal	24.04	18.99	30.84	23.86	24.04
Sanitation Activation	135.00				170.00
Other:					
Extra collection	50.00				60.00
Manual collection	50.00				60.00

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Penalty fee: Heavy/ Extremely Dense Waste	55.00				65.00
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**Landfill:**

Operating expenditure; Depreciation: \$105,000; and Capital outlay: \$725,000; were used for reviewing and calculation of the revenue needed.

The FY2627 ending balance is projected to be \$757,000. While this meets our target operating reserve it is below our operating and capital reserve target.

A free landfill pass (one vehicle under 8 foot) is provided to all sanitation customers as a service for the fees paid. As this is a service provided for the sanitation fees charged it is recommended sanitation pay landfill for the associated fees.

Increasing the vehicle: per ton fee and implementing charges for items now accepted for no cost is recommended along with allowing the free pass to be extended as a \$30.00 credit for vehicle: per ton.

	Current	Needed	Recommend
Vehicle: Under 8 Foot: Flat Fee	30.00	67.39	30.00
Vehicle: Per Ton	150.00	152.30	180.00
Clean yard or green waste	No charge		No Charge
Grass/Leaves: Clean			20.00
Manure/Hay: Per ton			10.00
Trees: Commercial Hauler: Per ton			
Concrete	No charge		No charge
Concrete: Commercial Hauler: Per ton			10.00
Asphalt	No charge		No charge
Asphalt: Commercial Hauler: Per ton			5.00
Recyclable materials accepted	No charge		No charge
Sorting fee: Commercial hauler: Municipal solid waste and wind blowable materials: Per load			50.00
Tires: Passenger car and pickup tires: 18" rim: Per tire	10.00		12.00
Tires: Truck: Larger than 18" rim: Per Tire	30.00		36.00
Tires: Equipment: Tractors, Scrapers, Loader: Per tire	200.00		240.00
Shredded tires: Per ton	160.00		190.00
Uncovered Load	11.00		13.00
Mud	160.00		190.00
Coal	160.00		190.00
Loading fee: Per load			
Dump truck			10.00
Semi-truck			25.00

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## Agenda Item Report City Council – June 22, 2026

### **Item**

**Appointment:** Converse County Tourism & Promotion Board

### **Responsible Staff Contact**

Devon Litzsinger

### **Recommendation**

Review the applications received and appoint the best candidate.

### **Executive Summary**

The Converse County Tourism & Promotions Board has a vacancy for a position that will expire on June 30, 2029. The position was previously filled by J.D. Cox and expires on June 30, 2026. We received one application for this position, Eber Rodriguez.

### **Background**

#### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

#### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

#### **Action Requested/Recommended Motion**

Appoint Eber Rodriguez to the vacant position on the Converse County Tourism & Promotion Board for the term expiring June 30, 2029.

### **Attachments**

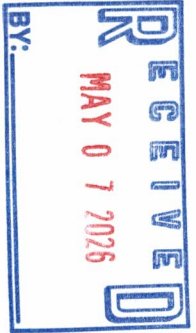
1. CCTPB - Eber Rodriguez - June 2026



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# Volunteer Application

Return to: 101 N. 4<sup>th</sup> Street / P.O. Box 1030  
Douglas, WY 82633  
307-358-3462, Fax: 307-358-6447



Name of Applicant: Eber Rodriguez

Address: 401 S Russell ave 104 #11 City/State/Zip: Douglas WY 82633

Mailing Address (if different from above): \_\_\_\_\_

Home Phone:	Cell Phone: <u>307 298 7901</u>	Work Phone:	Email: <u>Eber.rod.790186@outlook.com</u>
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1. Are you a resident of the City of Douglas?  Yes  No

2. I am interested in serving on the following Boards/Commissions (Please all that apply):

**Boards/Commissions/Committees:**

- Douglas Planning & Zoning Commission/Board of Adjustments
- Historic Preservation Commission
- Converse County Tourism Promotion Board
- Douglas Housing Authority Board
- Federal Urban Systems Advisory Committee
- Douglas Board of Appeals
- Steering Committee Member (when applicable)
- Focus Group Member (when applicable)
- Community Facility Task Force
- Arts & Culture Board of Trustees
- Recycling Task Force
- Other: \_\_\_\_\_

3. Have you served on any of these Boards/Commissions previously?  Yes  No

4. If "Yes", please indicate which Boards/Commissions and when you served: \_\_\_\_\_

5. In what community/communities did you previously serve? \_\_\_\_\_

Live and work in Douglas Wyoming



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# Volunteer Application

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307-358-3462, Fax: 307-358-6447

6. In what position(s) would you be willing to serve? *(Please select all that apply.)*

- Chairperson
- Vice Chairperson
- Secretary
- Treasurer
- Board, Commission, or Committee member only

7. Do you understand the attendance requirements as provided per Douglas Municipal Code and/or the Bylaws of the Board or Commission you wish to serve on?  Yes  No

8. If "No", please provide a description of your question(s): \_\_\_\_\_  
\_\_\_\_\_

9. Why are you seeking this appointment(s)? *I'm Looking for ways to be more involved in my community. I've been attending Converse County tourism monthly meetings and feel that I would be an asset to help promote converse county. Douglas is my hometown and I look forward to sharing Ideas & grow professionally.*

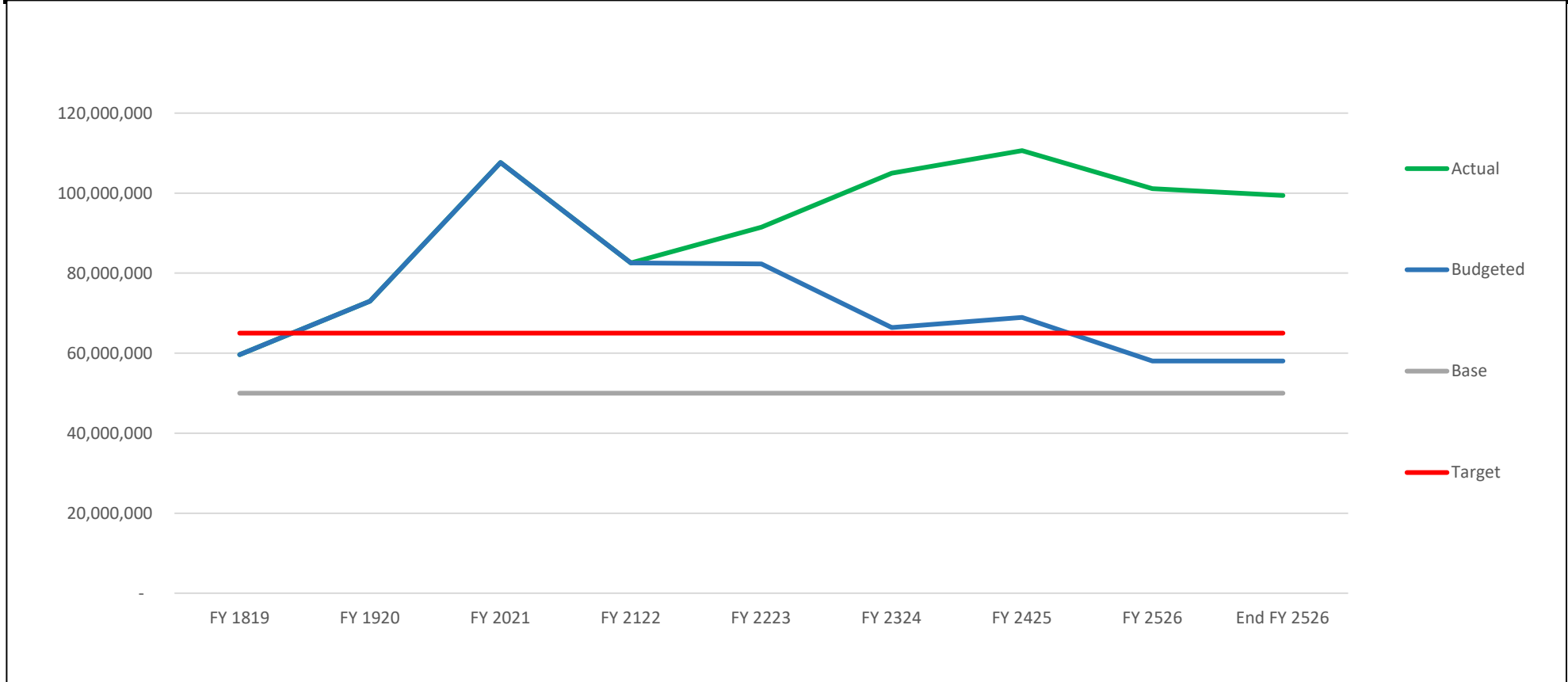
*Eh Rodriguez*  
\_\_\_\_\_  
Signature of Applicant

*5/7/26*  
\_\_\_\_\_  
Date

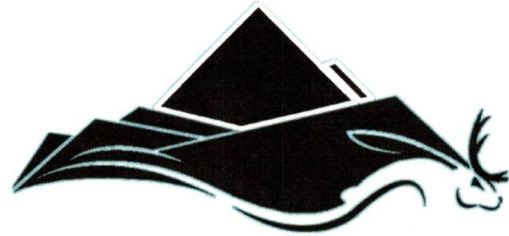
For Office Use Only:
Selected for: _____
Length of Term/Dates: _____
Additional Information: _____
_____
_____

# City of Douglas Reserves-Base-Targets FY 2526

RESERVES	Ending FY 1819	Ending FY 1920	Ending FY 2021	Ending FY 2122	Ending FY 2223	Ending FY 2324	Ending FY 2425	As of May FY 2526	Projection End FY 2526
Actual	59,637,255	72,981,953	107,631,740	82,548,368	91,512,751	104,950,707	110,651,662	101,091,437	99,409,081
Budgeted	59,637,255	72,981,953	107,631,740	82,548,368	82,304,017	66,421,873	68,967,055	58,073,856	58,073,856
Base	50,000,000	50,000,000	50,000,000	50,000,000	50,000,000	50,000,000	50,000,000	50,000,000	50,000,000
Target	65,000,000	65,000,000	65,000,000	65,000,000	65,000,000	65,000,000	65,000,000	65,000,000	65,000,000



# TREASURER'S REPORT



To the City Council:

The following is a General Statement of Accountability from the City Treasurer for the funds of the City of Douglas for the fiscal month to date ended and at ..... **May 31, 2026**

FUND	Fund #	BALANCE AT BEGINNING OF MONTH	CASH RECEIPTS FOR PERIOD	CASH DISBURSEMENTS FOR PERIOD	TRANSFERS AND ADJUSTMENTS	BALANCE AT May 31, 2026
<b>GOVERNMENTAL FUNDS</b>						
GENERAL	10	\$ 37,491,433.71	\$ 1,910,381.48	\$ 478,993.90		\$ 38,922,821.29
<b>SPECIAL REVENUE FUNDS</b>						
-IMPACT ASSISTANCE	11	2,191,216.87	5,991.87	(5,781.95)		2,202,990.69
-POLICE SPECIAL PROJECTS	13	(16,439.08)	-	297.10		(16,736.18)
<b>TOTAL SPECIAL REVENUE FUNDS</b>		<b>\$ 2,174,777.79</b>	<b>\$ 5,991.87</b>	<b>\$ (5,484.85)</b>	<b>\$ -</b>	<b>\$ 2,186,254.51</b>
<b>TOTAL GOVERNMENTAL</b>		<b>\$ 39,666,211.50</b>	<b>\$ 1,916,373.35</b>	<b>\$ 473,509.05</b>	<b>\$ -</b>	<b>\$ 41,109,075.80</b>
<b>PROPRIETARY FUNDS</b>						
<b>ENTERPRISE FUNDS</b>						
- WATER	31	12,932,697.71	260,331.01	1,239,868.48		11,953,160.24
-SEWER	32	3,284,782.33	123,899.87	347,516.64		3,061,165.56
-SANITATION	33	1,155,670.83	157,535.47	64,355.62		1,248,850.68
-LANDFILL	34	1,185,999.18	102,684.37	353,968.36		934,715.19
<b>TOTAL ENTERPRISE</b>		<b>\$ 18,559,150.05</b>	<b>\$ 644,450.72</b>	<b>\$ 2,005,709.10</b>	<b>\$ -</b>	<b>\$ 17,197,891.67</b>
<b>INTERNAL SERVICE FUNDS</b>						
- EMPLOYEE HEALTH CARE	39	-478,641.62	32,800.98	326,151.67		(771,992.31)
<b>TOTAL PROPRIETARY</b>		<b>\$ 18,080,508.43</b>	<b>\$ 677,251.70</b>	<b>\$ 2,331,860.77</b>	<b>\$ -</b>	<b>\$ 16,425,899.36</b>
<b>CAPITAL PROJECT FUNDS</b>						
-CAPITAL IMPROVEMENT RESERVE	40	394,678.56	74.84	(124.26)		394,877.66
-ECONOMIC DEVELOPMENT	41	1,904,184.83	4,759.68	25,809.91		1,883,134.60
-BROWNFIELD GRANT	42	0.00	-	-		(0.00)
-CAPITAL EQUIPMENT RESERVE	47	1,905,828.54	1,739.96	(1,967.92)		1,909,536.42
-FIRE EQUIPMENT	50	554,319.66	46.57	(77.31)		554,443.54
-CLG - PROJECTS	53	7,321.66	-	-		7,321.66
-TRAIN CAR RESTORATION	54	63,828.90	-	-		63,828.90
-POOL IMPROVEMENTS	55	758,568.42	-	613,071.02		145,497.40
-STREET IMPROVEMENTS	56	13,830,854.89	-	561,299.09		13,269,555.80
-PUBLIC FACILITIES	57	22,250,822.31	3,816.21	2,009,690.64		20,244,947.88
-PARK IMPROVEMENTS	65	3,546,496.44	785.87	476,797.16		3,070,485.15
<b>TOTAL CAPITAL PROJECT</b>		<b>\$ 45,216,904.21</b>	<b>\$ 11,223.13</b>	<b>\$ 3,684,498.33</b>	<b>\$ -</b>	<b>\$ 41,543,629.01</b>
<b>TRUST AND AGENCY FUNDS</b>						
-PERPETUAL CARE FUND	90	205,106.59	900.12	(632.87)		206,639.58
-VISIBLE MEMORIALS FUND	91	16.06	0.01	(0.02)		16.09
- HISTORIC PRESERVATION	92	23,345.96	14.51	1,565.52		21,794.95
- ARTS & CULTURE BOARD	93	1,684.60	-	8,050.09		(6,365.49)
-UTILITY DEPOSITS	96	107,315.43	645.00	(391.32)		108,351.75
-DEFERRED COMP PAYABLE	97	39.61	-	-		39.61
<b>TOTAL TRUST AND AGENCY</b>		<b>\$ 337,508.25</b>	<b>\$ 1,559.64</b>	<b>\$ 8,591.40</b>	<b>\$ -</b>	<b>\$ 330,476.49</b>
<b>TOTAL ALL FUNDS</b>		<b>\$ 103,301,132.39</b>	<b>\$ 2,606,407.82</b>	<b>\$ 6,498,459.55</b>	<b>\$ -</b>	<b>\$ 99,409,080.66</b>

### CERTIFICATION

I hereby certify that the foregoing is a true statement of my accountability to the City of Douglas for the total of the funds of the various accounts thereof as of the date of this report, and that said foregoing statement is materially correct, and that to cover the amount accountable to the City of Douglas stated in the foregoing statement, I hold the following:

Cash on hand.....	\$	575.00
Cash and Investments at First Northern Bank	\$	18,942,805.68
Cash and Investments at Points West Community Bank		5,951,313.62
Cash and Investments at Converse County Bank.....		52,464,720.95
Securities, Security Pools, and Interfund Advances.....		22,049,665.41
<b>Total</b>	<b>\$</b>	<b>99,409,080.66</b>

*Mary Nicol*  
 Mary Nicol, Treasurer  
 May 31, 2026

**CASH AND INVESTMENT SUMMARY**  
**CITY OF DOUGLAS**  
 May 31, 2026

FUND	#	COMBINED CASH FUND	MONEY MARKETS	TIME DEPOSITS	SECURITY POOLS	TOTAL
<b>GOVERNMENTAL FUNDS</b>						
GENERAL	10	\$ 3,392,818.81	6,891,767.72	\$ 13,291,787.02	\$ 15,346,447.74	\$ 38,922,821.29
<b>SPECIAL REVENUE FUNDS</b>						
-IMPACT ASSISTANCE	11	23,887.23	2,021,691.00	157,412.46	-	2,202,990.69
-POLICE SPECIAL PROJECTS	13	(16,736.18)	-	-	-	(16,736.18)
<b>TOTAL SPECIAL REVENUE</b>		<b>7,151.05</b>	<b>2,021,691.00</b>	<b>157,412.46</b>	<b>-</b>	<b>2,186,254.51</b>
		-	-	-	-	-
<b>TOTAL GOVERNMENTAL</b>		<b>3,399,969.86</b>	<b>8,913,458.72</b>	<b>13,449,199.48</b>	<b>15,346,447.74</b>	<b>41,109,075.80</b>
<b>PROPRIETARY FUNDS</b>						
<b>ENTERPRISE FUNDS</b>						
- WATER	31	27,054.87	128,010.95	7,253,072.34	4,545,022.08	11,953,160.24
-SEWER	32	27,409.61	128,010.95	1,521,312.67	1,384,432.33	3,061,165.56
-SANITATION	33	562,416.10	-	686,434.58	-	1,248,850.68
-LANDFILL	34	(80,605.50)	-	1,015,320.69	-	934,715.19
<b>TOTAL ENTERPRISE</b>		<b>536,275.08</b>	<b>256,021.90</b>	<b>10,476,140.28</b>	<b>5,929,454.41</b>	<b>17,197,891.67</b>
<b>INTERNAL SERVICE FUNDS</b>						
- EMPLOYEE HEALTH CARE	39	(771,992.31)	-	-	-	(771,992.31)
<b>TOTAL PROPRIETARY</b>		<b>(235,717.23)</b>	<b>256,021.90</b>	<b>10,476,140.28</b>	<b>5,929,454.41</b>	<b>16,425,899.36</b>
<b>CAPITAL PROJECT FUNDS</b>						
-CAPITAL IMPROVEMENT RESERVE	40	120,574.99	-	274,302.67	-	394,877.66
-ECONOMIC DEVELOPMENT	41	160,340.49	1,518,762.07	204,032.04	-	1,883,134.60
-BROWNFIELD GRANT	42	-	-	-	-	-
-CAPITAL EQUIPMENT RESERVE	47	1,338,789.72	306,637.01	264,109.69	-	1,909,536.42
-FIRE EQUIPMENT	50	75,024.22	-	479,419.32	-	554,443.54
-CLG - PROJECTS	53	7,321.66	-	-	-	7,321.66
-TRAIN CAR RESTORATION	54	63,828.90	-	-	-	63,828.90
-POOL IMPROVEMENTS	55	(430,788.58)	-	576,285.98	-	145,497.40
-STREET IMPROVEMENTS	56	(372,234.75)	-	13,641,790.55	-	13,269,555.80
-PUBLIC FACILITIES	57	(1,369,706.22)	0.00	21,614,654.10	-	20,244,947.88
-PARK IMPROVEMENTS	65	(450,576.30)	-	2,871,827.17	649,234.28	3,070,485.15
<b>TOTAL CAPITAL PROJECT</b>		<b>(857,425.87)</b>	<b>1,825,399.08</b>	<b>39,926,421.52</b>	<b>649,234.28</b>	<b>41,543,629.01</b>
<b>TRUST AND AGENCY FUNDS</b>						
-PERPETUAL CARE FUND	90	12,449.40	-	69,661.20	124,528.98	206,639.58
-VISIBLE MEMORIALS FUND	91	16.09	-	-	-	16.09
-HISTORIC PRESERVATION	92	21,794.95	-	-	-	21,794.95
-ARTS & CULTURE BOARD	93	(6,365.49)	-	-	-	(6,365.49)
-UTILITY DEPOSITS	96	9,553.40	-	98,798.35	-	108,351.75
-DEFERRED COMP PAYABLE	97	39.61	-	-	-	39.61
<b>TOTAL TRUST AND AGENCY</b>		<b>37,487.96</b>		<b>168,459.55</b>	<b>124,528.98</b>	<b>330,476.49</b>
<b>TOTAL ALL FUNDS</b>		<b>\$ 2,344,314.72</b>	<b>\$ 10,994,879.70</b>	<b>\$ 64,020,220.83</b>	<b>\$ 22,049,665.41</b>	<b>\$ 99,409,080.66</b>

**CITY OF DOUGLAS**  
**POOLED TIME DEPOSITS and MONEY MARKET ACCOUNT SUMMARY AND ALLOCATION**  
 May 31, 2026

<b>CD's/TDOA's</b>	<b>TOTAL</b>	<b>10 General Fund</b>	<b>11 Impact Assistance Fund</b>	<b>31 Water Fund</b>	<b>32 Sewer Fund</b>	<b>33 Sanitation Fund</b>	<b>34 Landfill Fund</b>	<b>39 Health Ins. Fund</b>	<b>40 Cap. Imp. Reserve</b>
<b>CONVERSE COUNTY BANK</b>									
TDOA #1290 - \$5,367,075.58 - 4.04% APY MATURES 12/18/2028 - 60 Months	5,874,963.05	4,993,718.58							
TDOA #1291 - \$1,124,582.87 - 4.10% APY MATURES 2/28/2029 - 60 Months	1,220,311.20	439,311.94				305,077.82	305,077.82		
TDOA #1301 - \$2,141,379.95 - 4.30% APY MATURES 6/25/2026 - 12 Months	2,210,991.19	1,163,679.60	157,412.46	57,131.58	35,816.47				
TDOA #1294 - \$5,566,503.86 - 3.80% APY MATURES 8/28/2027 - 36 Months	5,893,688.73	84,404.45		884,053.30	-		294,684.44		
TDOA #1296 - \$6,500,000 - 3.50% APY MATURES 9/26/2027 - 36 Months	7,577,518.61	934,087.50		291,474.34	29,918.73				
TDOA #1299 - \$21,000,228.24 - 4.06% MATURES 12/5/2027 - 36 Months	22,068,457.03	603,676.87		4,965,402.83		275,855.72	171,550.20		
TDOA #1298 - \$5,000,000 - 4.30% MATURES 11/18/2029 - 60 Months	5,275,051.42	1,112,016.68		1,055,010.29	1,455,577.47	105,501.04	244,008.23	-	274,302.67
<b>TOTAL - CONVERSE CO BANK</b>	<b>\$ 50,120,981.23</b>	<b>\$ 9,330,895.62</b>	<b>\$ 157,412.46</b>	<b>\$ 7,253,072.34</b>	<b>\$ 1,521,312.67</b>	<b>\$ 686,434.58</b>	<b>\$ 1,015,320.69</b>	<b>\$ -</b>	<b>\$ 274,302.67</b>
<b>FIRST NORTHERN BANK</b>									
CD #101016574 - \$1,000,000 - 4.25% MATURES 3/1/2029 - 60 Months	1,096,298.88								
CD #101027001 - \$5,000,000 - 3.76% MATURES 12/15/2026 - 12 Months	5,046,356.16	\$ 1,614,833.97							
CD #101018802 - \$1,900,000 - 4.75% MATURES 6/25/2026 - 12 Months	2,061,292.84	\$ 2,061,292.84							
Total - First Northern Bank	\$ 8,203,947.88	\$ 3,676,126.81	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>POINTS WEST COMMUNITY BANK</b>									
CD #40020351 - \$5,466,893.77 - 2.85% MATURES - 2/27/2027 - 12 months	\$ 5,695,291.72	284,764.59							
<b>TOTAL - POINTS WEST</b>	<b>\$ 5,695,291.72</b>	<b>\$ 284,764.59</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>TOTAL CD's/TDOA's</b>	<b>\$ 64,020,220.83</b>	<b>\$ 13,291,787.02</b>	<b>\$ 157,412.46</b>	<b>\$ 7,253,072.34</b>	<b>\$ 1,521,312.67</b>	<b>\$ 686,434.58</b>	<b>\$ 1,015,320.69</b>	<b>\$ -</b>	<b>\$ 274,302.67</b>
<b>Money Market Accounts</b>									
<b>FIRST NORTHERN BANK</b>									
MMA #1160046429	10,738,857.80	6,891,767.72	2,021,691.00						
<b>TOTAL - FIRST NORTHERN BANK</b>	<b>\$ 10,738,857.80</b>	<b>6,891,767.72</b>	<b>2,021,691.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>POINTS WEST COMMUNITY BANK</b>									
MMA #400101192	256,021.90	0.00		128,010.95	128,010.95				
<b>TOTAL - POINTS WEST</b>	<b>\$ 256,021.90</b>	<b>0.00</b>	<b>0.00</b>	<b>128,010.95</b>	<b>128,010.95</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>TOTAL MMA's</b>	<b>\$ 10,994,879.70</b>	<b>6,891,767.72</b>	<b>2,021,691.00</b>	<b>128,010.95</b>	<b>128,010.95</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>GRAND TOTAL</b>	<b>\$ 75,015,100.53</b>	<b>\$ 20,183,554.74</b>	<b>\$ 2,179,103.46</b>	<b>\$ 7,381,083.29</b>	<b>\$ 1,649,323.62</b>	<b>\$ 686,434.58</b>	<b>\$ 1,015,320.69</b>	<b>\$ -</b>	<b>\$ 274,302.67</b>

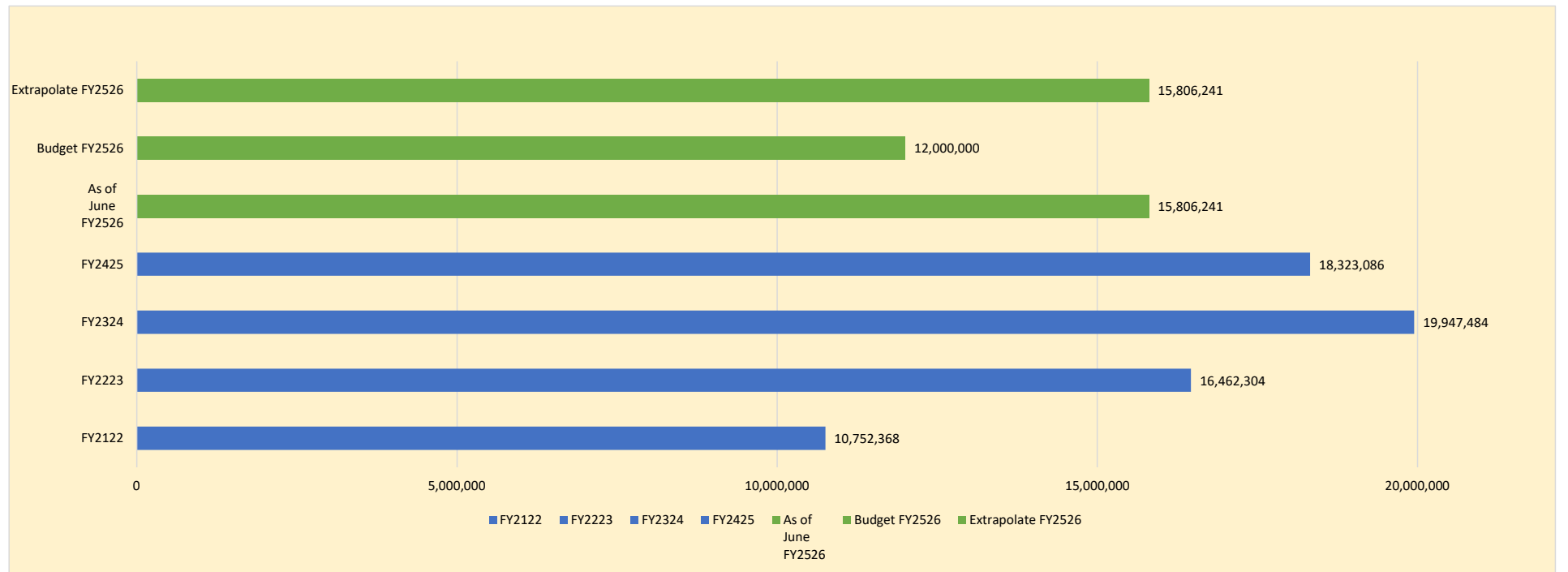
**CITY OF DOUGLAS**  
**POOLED TIME DEPOSITS and MONEY MARKET ACCOUNT SUMMARY AND ALLOCATION**  
**May 31, 2026**

<b>CD's/TDOA's</b>	<b>41 Economic Development</b>	<b>47 Cap. Equip. Reserve</b>	<b>50 Cap. Fire Equip. Reserve</b>	<b>55 Pool Improvements</b>	<b>56 Cap. Street Imp. Reserve</b>	<b>57 Cap. Public Fac. Imp. Reserve</b>	<b>65 Cap. Park Imp. Reserve</b>	<b>90 Perpetual Care Fund</b>	<b>96 Utility Dep. Fund</b>
<b>CONVERSE COUNTY BANK</b>									
TDOA #1290 - \$5,367,075.58 - 4.04% APY MATURES 12/18/2028 - 60 Months					881,244.47				
TDOA #1291 - \$1,124,582.87 - 4.10% APY MATURES 2/28/2029 - 60 Months				122,031.14				18304.68	30507.80
TDOA #1301 - \$2,141,379.95 - 4.30% APY MATURES 6/25/2026 - 12 Months			57,415.21	214,827.67		524,708.20			
TDOA #1294 - \$5,566,503.86 - 3.80% APY MATURES 8/28/2027 - 36 Months						4,630,546.54			
TDOA #1296 - \$6,500,000 - 3.50% APY MATURES 9/26/2027 - 36 Months	204,032.04	264,109.69		239,427.17	2,177,143.64	2,287,614.91	1,056,438.79	40,806.41	52,465.39
TDOA #1299 - \$21,000,228.24 - 4.06% MATURES 12/5/2027 - 36 Months					5,517,114.27	10,534,857.14			
TDOA #1298 - \$5,000,000 - 4.30% MATURES 11/18/2029 - 60 Months			422,004.11		5,419.18	522,085.97	52,750.51	10,550.11	15,825.16
<b>TOTAL - CONVERSE CO BANK</b>	<b>\$ 204,032.04</b>	<b>\$ 264,109.69</b>	<b>\$ 479,419.32</b>	<b>\$ 576,285.98</b>	<b>\$ 8,580,921.56</b>	<b>\$ 18,499,812.76</b>	<b>\$ 1,109,189.30</b>	<b>\$ 69,661.20</b>	<b>\$ 98,798.35</b>
<b>FIRST NORTHERN BANK</b>									
CD #101016574 - \$1,000,000 - 4.25% MATURES 3/1/2029 - 60 Months						\$ 1,096,298.88			
CD #101027001 - \$5,000,000 - 3.76% MATURES 12/15/2026 - 12 Months					\$ 504,635.62	\$ 2,018,542.46	\$ 908,344.11		
CD #101018802 - \$1,900,000 - 4.75% MATURES 6/25/2026 - 12 Months									
	\$ -	\$ -	\$ -	\$ -	\$ 504,635.62	\$ 3,114,841.34	\$ 908,344.11	\$ -	\$ -
<b>TOTAL - POINTS WEST</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 4,556,233.37</b>	<b>\$ -</b>	<b>\$ 854,293.76</b>	<b>\$ -</b>	<b>\$ -</b>
<b>TOTAL CD's/TDOA's</b>	<b>\$ 204,032.04</b>	<b>\$ 264,109.69</b>	<b>\$ 479,419.32</b>	<b>\$ 576,285.98</b>	<b>\$ 13,641,790.55</b>	<b>\$ 21,614,654.10</b>	<b>\$ 2,871,827.17</b>	<b>\$ 69,661.20</b>	<b>\$ 98,798.35</b>
<b>Money Market Accounts</b>									
<b>FIRST NORTHERN BANK</b>									
MMA #1160046429 - \$10,443,777.80	1,518,762.07	306,637.01				0.00			
	1,518,762.07	306,637.01	0.00	0.00	0.00	0.00	0.00	0.00	0.00
<b>POINTS WEST COMMUNITY BANK</b>									
MMA #400101192									
<b>TOTAL - POINTS WEST</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>TOTAL MMA's</b>	<b>1,518,762.07</b>	<b>306,637.01</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>GRAND TOTAL</b>	<b>\$ 1,722,794.11</b>	<b>\$ 570,746.70</b>	<b>\$ 479,419.32</b>	<b>\$ 576,285.98</b>	<b>\$ 13,641,790.55</b>	<b>\$ 21,614,654.10</b>	<b>\$ 2,871,827.17</b>	<b>\$ 69,661.20</b>	<b>\$ 98,798.35</b>

CITY OF DOUGLAS  
SECURITY POOLS SUMMARY AND ALLOCATION  
May 31, 2026

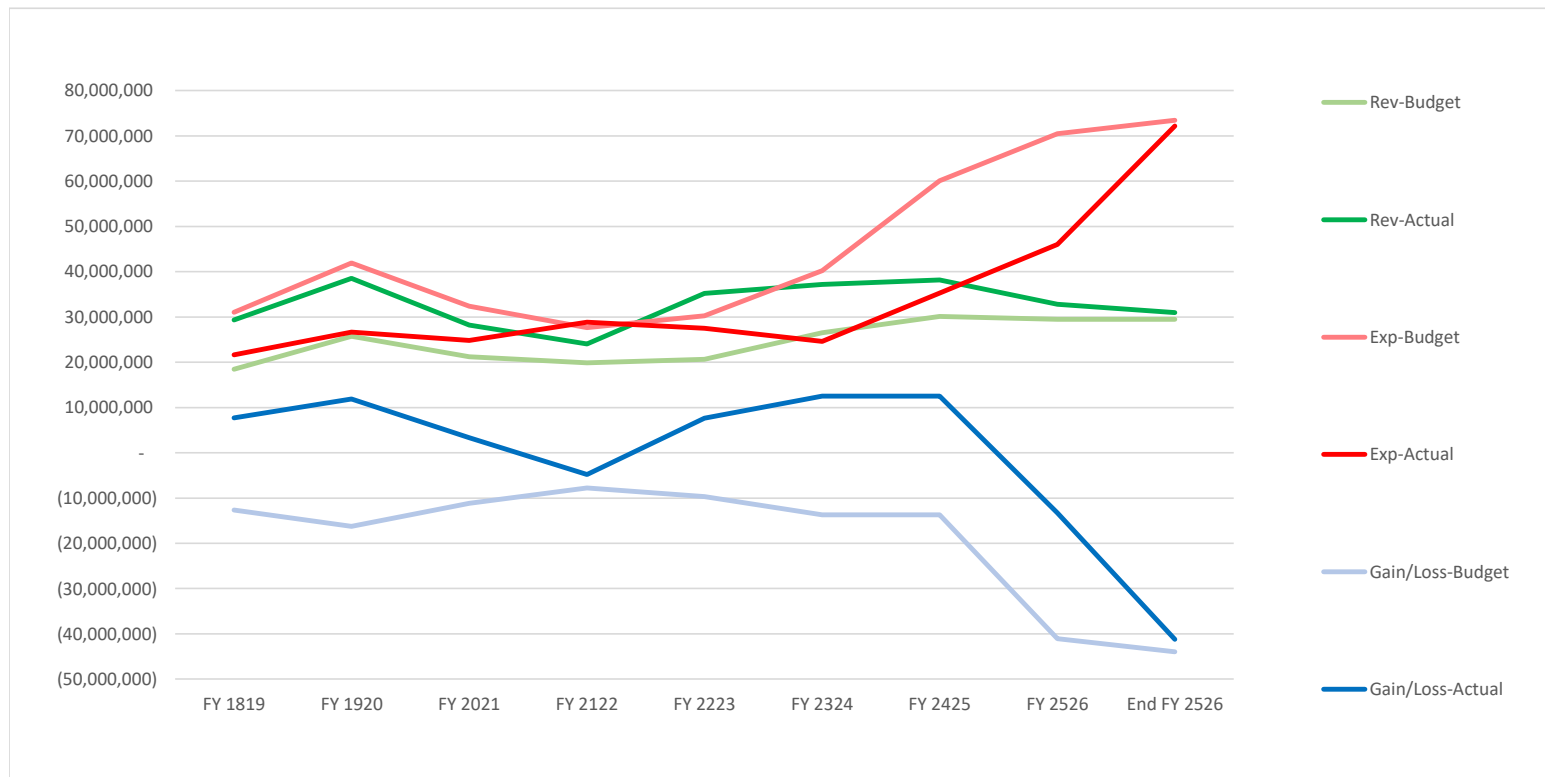
<u>INSTITUTION</u>	<u>TOTAL</u>	<u>10 GENERAL FUND</u>	<u>31 WATER FUND</u>	<u>32 SEWER FUND</u>	<u>65 PARK IMP FUND</u>	<u>90 Perpetual Care FUND</u>
<u>Wyoming State Treasurer - WYOSTAR</u>	\$ 576,985.12	\$ 452,456.14		\$ -	\$ -	\$ 124,528.98
<u>Wyo. Government Investment Fund - WGI</u>	277,812.65	-		277,812.65	-	-
<u>Peak Investments</u>	11,353,675.31	5,052,799.25	4,545,022.10	1,106,619.69	649,234.26	
<u>WyoClass</u>	9,841,192.32	9,841,192.32				
<b>TOTAL</b>	<b>\$ 22,049,665.40</b>	<b>\$ 15,346,447.74</b>	<b>\$ 4,545,022.08</b>	<b>\$ 1,384,432.33</b>	<b>\$ 649,234.28</b>	<b>\$ 124,528.98</b>

Sales Tax							Using Average % of Previous Years				Using Equal Monthly Budget		
	Average %	FY 2122	FY 2223	FY 2324	FY 2425	FY 2526	% Collected	Budget	FY 2526 Variance	Total Variance	FY 26 Budget	FY 26 Variance	Total Variance
July	7.65%	688,361	1,180,151	1,593,239	1,659,312	1,199,178	9.99%	918,413	280,765	280,765	1,000,000	199,178	199,178
August	7.44%	621,431	1,477,386	1,626,656	1,255,674	1,603,515	13.36%	892,845	710,670	991,435	1,000,000	603,515	802,693
September	7.47%	669,516	1,420,424	1,593,741	1,287,925	856,663	7.14%	896,211	-39,548	951,888	1,000,000	-143,337	659,356
October	9.21%	733,755	1,832,154	1,524,683	2,059,904	1,114,838	9.29%	1,105,173	9,664	961,552	1,000,000	114,838	774,194
November	8.74%	944,700	1,539,437	1,521,004	1,685,775	1,329,157	11.08%	1,048,877	280,280	1,241,831	1,000,000	329,157	1,103,351
December	8.11%	858,551	1,272,109	1,499,682	1,685,090	1,154,290	9.62%	972,806	181,484	1,423,315	1,000,000	154,290	1,257,641
January	8.54%	839,002	1,210,210	1,914,457	1,722,773	1,463,529	12.20%	1,024,621	438,908	1,862,223	1,000,000	463,529	1,721,170
February	9.10%	1,092,275	1,498,053	1,584,696	1,688,343	1,326,613	11.06%	1,092,510	234,103	2,096,326	1,000,000	326,613	2,047,782
March	7.28%	945,710	953,719	1,512,571	1,274,371	1,198,558	9.99%	873,795	324,764	2,421,089	1,000,000	198,558	2,246,340
April	6.99%	940,150	1,244,896	1,304,870	933,522	1,515,339	12.63%	838,262	677,077	3,098,166	1,000,000	515,339	2,761,679
May	10.00%	1,159,826	1,379,561	2,243,612	1,759,352	1,521,619	12.68%	1,200,488	321,132	3,419,298	1,000,000	521,619	3,283,298
June	9.47%	1,259,090	1,454,204	2,028,274	1,311,046	1,522,943	12.69%	1,136,000	386,943	3,806,241	1,000,000	522,943	3,806,241
Revenue		10,752,368	16,462,304	19,947,484	18,323,086	15,806,241	131.72%	12,000,000	3,806,241	22,554,130	12,000,000	3,806,241	20,662,924
Budget		7,500,000	7,500,000	8,500,000	10,000,000	12,000,000							
Monthly Average		896,031	1,371,859	1,662,290	1,526,924	1,317,187							



## City of Douglas Overall Budget-Projected FY 2526

OVERALL TRENDS								As of May FY 2526	Projection End FY 2526
	FY 1819	FY 1920	FY 2021	FY 2122	FY 2223	FY 2324	FY 2425	FY 2526	End FY 2526
Rev-Budget	18,455,712	25,727,819	21,213,655	19,848,238	20,636,557	26,483,898	30,102,005	29,486,908	29,486,908
Rev-Actual	29,376,308	38,550,967	28,183,299	24,018,421	35,191,787	37,150,744	38,185,354	32,783,039	30,986,908
Exp-Budget	31,072,790	41,946,674	32,358,571	27,643,909	30,291,041	40,205,060	60,071,977	70,504,710	73,479,674
Exp-Actual	21,667,745	26,676,029	24,848,172	28,812,865	27,528,699	24,611,879	35,290,924	46,045,065	72,179,674
Gain/Loss-Budget	(12,617,078)	(16,218,855)	(11,144,916)	(7,795,671)	(9,654,484)	(13,721,162)	(13,721,162)	(41,017,802)	(43,992,766)
Gain/Loss-Actual	7,708,563	11,874,938	3,335,127	(4,794,444)	7,663,088	12,538,865	12,538,865	(13,262,026)	(41,192,766)



Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
<b>GENERAL FUND</b>			
<b>GENERAL GOVT - NON DEPARTMENTL</b>			
10-5100-1021	EMPLOYEE BENEFITS - SCL SCRTY	70	40
10-5100-1023	EMPLOYEE BENEFITS - HEALTH INS	7,095	6,000
10-5100-1025	EMPLOYEE BENEFITS - WRKRS COMP	15	15
10-5100-1032	EMPLOYEE BENEFITS - MDCL SRVC	849	3,000
10-5100-2101	POSTAGE/FREIGHT	6,747	7,500
10-5100-2115	PUBLISHING/ADVERTISING	38,151	65,400
10-5100-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	87	200
10-5100-2122	TRAINING/DEVELOPMENT	7,200	20,000
10-5100-2123	MEALS/LODGING/TRAVEL	3,393	4,050
10-5100-2131	UTILITY SERVICES - ELECTRICITY	91,203	85,000
10-5100-2132	UTILITY SERVICES - WTR/SWR/GRB	3,211	3,000
10-5100-2133	UTILITY SERVICES - NATURAL GAS	2,430	3,500
10-5100-2134	TELECOMMUNICATIONS	12,234	13,250
10-5100-2141	EQUIPMENT - RENT	696	700
10-5100-2151	LEGAL	34,720	47,000
10-5100-2152	ACCOUNTING/AUDITING	58,900	75,000
10-5100-2155	REPAIRS/MAINTENANCE	8,278	26,700
10-5100-2156	MAINTENANCE AGREEMENT	3,446	7,080
10-5100-2157	INSURANCE	106,708	120,750
10-5100-2158	MISC CONTRACTUAL SERVICES	92,121	118,834
10-5100-2166	COLLECTION FEES	99	75
10-5100-2175	REFUNDS/REIMBURSEMENT EXPENSE	4,975	600
10-5100-3201	OFFICE SUPPLIES	8,276	15,000
10-5100-3210	OPERATING SUPPLIES	23,318	35,000
10-5100-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	8,822	19,164
10-5100-3230	REFRESHMENT SUPPLIES	4,793	7,500
10-5100-3235	FUEL	1,229	1,500
10-5100-7601	CLAIMS AGAINST CITY	0	5,000
10-5100-7606	UNEMPLOYMENT CLAIMS	4,316	2,500
Total GENERAL GOVT - NON DEPARTMENTL:		533,383	693,358
<b>GENERAL GOVT - CITY COUNCIL</b>			
10-5101-1001	SALARIES/WAGES - REGULAR	30,250	33,000
10-5101-1021	EMPLOYEE BENEFITS - SCL SCRTY	2,314	2,525
10-5101-1025	EMPLOYEE BENEFITS - WRKRS COMP	286	365

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5101-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	0	8,550
10-5101-2122	TRAINING/DEVELOPMENT	1,825	7,500
10-5101-2123	MEALS/LODGING/TRAVEL	3,520	6,000
10-5101-3210	OPERATING SUPPLIES	90	500
Total GENERAL GOVT - CITY COUNCIL:		38,285	58,440

**GENERAL GOVT - CITY MANAGER**

10-5102-1001	SALARIES/WAGES - REGULAR	143,872	141,750
10-5102-1005	SALARIES/WAGES - LONGEVITY	87	87
10-5102-1006	SALARIES/WAGES - ALLOWANCES	1,000	1,200
10-5102-1021	EMPLOYEE BENEFITS - SCL SCRTY	11,089	10,942
10-5102-1023	EMPLOYEE BENEFITS - HEALTH INS	30,734	37,190
10-5102-1025	EMPLOYEE BENEFITS - WRKRS COMP	2,791	3,218
10-5102-1029	EMPLOYEE BENEFITS - WY RTRMNT	21,927	26,394
10-5102-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	8,786	1,700
10-5102-2122	TRAINING/DEVELOPMENT	1,068	2,550
10-5102-2123	MEALS/LODGING/TRAVEL	2,980	5,050
10-5102-2134	TELECOMMUNICATIONS	566	0
Total GENERAL GOVT - CITY MANAGER:		224,899	230,081

**GENERAL GOVT - IT**

10-5103-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	5,112	7,570
10-5103-2155	REPAIRS/MAINTENANCE	0	6,800
10-5103-2156	MAINTENANCE AGREEMENT	39,856	136,725
10-5103-2158	MISC CONTRACTUAL SERVICES	212,029	284,771
10-5103-3210	OPERATING SUPPLIES	0	2,400
10-5103-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	271,287	455,150
Total GENERAL GOVT - IT:		528,284	893,416

**GENERAL GOVT - FINANCE**

10-5104-1001	SALARIES/WAGES - REGULAR	230,715	249,744
10-5104-1002	SALARIES/WAGES - OVERTIME	0	1,500
10-5104-1005	SALARIES/WAGES - LONGEVITY	1,299	1,299
10-5104-1006	SALARIES/WAGES - ALLOWANCES	825	0
10-5104-1021	EMPLOYEE BENEFITS - SCL SCRTY	18,429	20,057

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5104-1023	EMPLOYEE BENEFITS - HEALTH INS	100,282	109,693
10-5104-1025	EMPLOYEE BENEFITS - WRKRS COMP	4,478	5,702
10-5104-1026	EMPLOYEE BENEFITS - DFRRD COMP	8,069	8,745
10-5104-1029	EMPLOYEE BENEFITS - WY RTMT	42,959	46,782
10-5104-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	75	1,600
10-5104-2122	TRAINING/DEVELOPMENT	250	3,900
10-5104-2123	MEALS/LODGING/TRAVEL	0	2,500
10-5104-3210	OPERATING SUPPLIES	250	250
10-5104-3220	SMALL TOOLS & EQUIPMENT	0	1,500
Total GENERAL GOVT - FINANCE:		407,632	453,272

**GENERAL GOVT - MUNICIPAL COURT**

10-5105-1001	SALARIES/WAGES - REGULAR	56,821	61,625
10-5105-1005	SALARIES/WAGES - LONGEVITY	535	535
10-5105-1021	EMPLOYEE BENEFITS - SCL SCRTY	4,515	4,893
10-5105-1023	EMPLOYEE BENEFITS - HEALTH INS	8,466	9,232
10-5105-1025	EMPLOYEE BENEFITS - WRKRS COMP	1,103	6,972
10-5105-1026	EMPLOYEE BENEFITS - DFRRD COMP	1,661	9,573
10-5105-1029	EMPLOYEE BENEFITS - WY RTRMNT	7,731	8,394
10-5105-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	0	270
10-5105-2122	TRAINING/DEVELOPMENT	150	420
10-5105-2123	MEALS/LODGING/TRAVEL	279	540
10-5105-2151	LEGAL	21,166	28,000
10-5105-2156	MAINTENANCE AGREEMENT	198	2,580
10-5105-2166	COLLECTION FEES	0	500
10-5105-2175	REFUNDS/REIMBURSEMENT EXPENSE	0	250
10-5105-3210	OPERATING SUPPLIES	444	500
10-5105-3233	UNIFORMS/CARE	0	150
Total GENERAL GOVT - MUNICIPAL COURT:		103,068	134,434

**GENERAL GOVT - PLANNING/DVPMT**

10-5106-1001	SALARIES/WAGES - REGULAR	289,460	307,841
10-5106-1002	SALARIES/WAGES - OVERTIME	162	0
10-5106-1005	SALARIES/WAGES - LONGEVITY	1,136	1,136
10-5106-1006	SALARIES/WAGES - ALLOWANCES	825	900
10-5106-1021	EMPLOYEE BENEFITS - SCL SCRTY	22,947	24,438

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5106-1023	EMPLOYEE BENEFITS - HEALTH INS	23,272	49,644
10-5106-1025	EMPLOYEE BENEFITS - WRKRS COMP	5,606	6,972
10-5106-1026	EMPLOYEE BENEFITS - DFRRD COMP	8,828	9,573
10-5106-1029	EMPLOYEE BENEFITS - WY RTRMNT	45,100	47,747
10-5106-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	1,297	1,880
10-5106-2122	TRAINING/DEVELOPMENT	1,445	3,535
10-5106-2123	MEALS/LODGING/TRAVEL	1,947	4,894
10-5106-2134	TELECOMMUNICATIONS	1,944	3,650
10-5106-2153	ARCHITECT/ENGINEERING/SURVEY	3,735	10,000
10-5106-2155	REPAIRS/MAINTENANCE	0	1,000
10-5106-2156	MAINTENANCE AGREEMENT	1,175	2,200
10-5106-2158	MISC CONTRACTUAL SERVICES	12,529	10,000
10-5106-2175	REFUNDS/REIMBURSEMENT EXPENSE	2,450	750
10-5106-3210	OPERATING SUPPLIES	4,695	4,975
10-5106-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	1,145	1,000
10-5106-3235	FUEL	635	2,000
Total GENERAL GOVT - PLANNING/DVPMT:		430,334	494,135

**GENERAL GOVT - HUMAN RESOURCES**

10-5107-1001	SALARIES/WAGES - REGULAR	79,563	101,497
10-5107-1006	SALARIES/WAGES - ALLOWANCES	600	0
10-5107-1021	EMPLOYEE BENEFITS - SCL SCRTY	6,133	7,765
10-5107-1023	EMPLOYEE BENEFITS - HEALTH INS	490	12,866
10-5107-1025	EMPLOYEE BENEFITS - WRKRS COMP	1,537	2,284
10-5107-1029	EMPLOYEE BENEFITS - WY RTRMNT	14,476	18,899
10-5107-2120	DUES, MEMBERSHIPS, SUBSCRIPTIONS	0	659
10-5107-2122	TRAINING/DEVELOPMENT	986	1,500
10-5107-2123	MEALS/LODGING/TRAVEL	386	500
10-5107-3210	OPERATING SUPPLIES	32	0
10-5107-3220	SMALL TOOLS & EQUIPMENT	237	0
Total GENERAL GOVT - HUMAN RESOURCES:		104,439	145,970

**GENERAL GOVT - CITY CLERK**

10-5109-1001	SALARIES/WAGES - REGULAR	93,064	121,351
10-5109-1002	SLARIES/WAGES - OVERTIME	3,917	3,800
10-5109-1005	SALRIES/WAGES - LONGEVITY	116	116

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5109-1021	EMPLOYEE BENEFITS - SCL SCRTY	7,428	9,583
10-5109-1023	EMPLOYEE BENEFITS - HEALTH INS	54,477	72,624
10-5109-1025	EMPLOYEE BENEFITS - WRKRS COMP	1,862	2,819
10-5109-1029	EMPLOYEE BENEFITS - WY RTRMNT	18,058	22,596
10-5109-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	483	1,630
10-5109-2122	TRAINING/DEVELOPMENT	4,183	6,805
10-5109-2123	MEALS/LODGING/TRAVEL	3,480	3,375
10-5109-2134	TELECOMMUNICATIONS	0	600
10-5109-2158	MISC CONTRACTUAL SERVICES	945	1,089
10-5109-3210	OPERATING SUPPLIES	2,459	2,600
10-5109-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	2,284	2,400
Total GENERAL GOVT - CITY CLERK:		192,756	251,388
<b>COMMUNITY SERVICE CONTRACTS</b>			
10-5110-8702	COMM SERV-CNTRCT-COMM CLUB/GE	56,250	75,000
10-5110-8703	COMM SERV-CNTRCT-YOUTH RCREAT	35,000	35,000
10-5110-8705	COMM SERV-CNTRCT-HIGH COUNTRY	22,500	30,000
10-5110-8707	COMM SERV-CNTRCT-CHLD/FMLY DVL	4,583	5,000
10-5110-8709	COMM SERV-CNTRCT-YOUTH DVLPMN	18,333	20,000
10-5110-8714	COMM SERV-CNTRCT-THE ENTERPRIS	100,832	110,000
10-5110-8723	COMM SERV-CNTRCT-DGLS HOCKEY	0	40,000
10-5110-8730	COMM SERV-CNTRCT-GATHERING INC	22,459	40,000
10-5110-8734	COMM SERV-CNTRC-LARAMIE PEAK	105,847	120,000
10-5110-8746	COMM SERV-CNTRCT-BOYS & GIRLS	29,167	35,000
10-5110-8748	COMM SERV-CNTRCT-MAIN ST-DOUGL	28,000	28,000
10-5110-8750	COMM SERV-CNTRCT-CHLDRNS ADVO	6,000	8,000
10-5110-8753	COMM SERV-CNTRCT-COMM SRVC BL	7,500	7,500
10-5110-8755	COMM SERV-CNTRCT-HELPING HAND	6,377	8,100
10-5110-8759	COMM SRVC CNTRCT-HOPE CENTER	15,000	15,000
10-5110-8763	COMM SRVC CNTRCT-OUTDR ENTHST	25,000	25,000
10-5110-8766	COMM SRVC CNTRCT-SAVING GRACE	12,333	14,800
10-5110-8767	COMM SRVC CNTRCT-WY STATE FAIR	765,000	770,000
10-5110-8768	COMM SRVC CNTRCT-AMERICAN LEGI	13,890	20,000
Total COMMUNITY SERVICE CONTRACTS:		1,274,071	1,406,400
<b>PUBLIC SERVICE CONTRACTS</b>			

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5111-8744	COMM SERV-CNTRCT-FIRE SPPRSN	320,519	627,000
10-5111-8760	COMM SRVC CNTRCT-JOINT JUSTICE	819,565	1,100,000
Total PUBLIC SERVICE CONTRACTS:		1,140,084	1,727,000

**POLICE DEPT - ADMINISTRATION**

10-5201-1001	SALARIES/WAGES - REGULAR	171,144	193,532
10-5201-1002	SALARIES/WAGES - OVERTIME	209	250
10-5201-1005	SALARIES/WAGES - LONGEVITY	398	398
10-5201-1006	SALARIES/WAGES - ALLOWANCES	788	900
10-5201-1021	EMPLOYEE BENEFITS - SCL SCRTY	13,242	14,970
10-5201-1023	EMPLOYEE BENEFITS - HEALTH INS	44,468	52,403
10-5201-1025	EMPLOYEE BENEFITS - WRKRS COMP	3,598	4,681
10-5201-1026	EMPLOYEE BENEFITS - DFRRD COMP	554	600
10-5201-1029	EMPLOYEE BENEFITS - WY RTRMNT	30,507	35,859
10-5201-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	250	655
10-5201-2122	TRAINING/DEVELOPMENT	695	1,570
10-5201-2123	MEALS/LODGING/TRAVEL	1,841	2,310
10-5201-2131	UTILITY SERVICES - ELECTRICITY	1,805	2,000
10-5201-2133	UTILITY SERVICES - NATURAL GAS	0	3,500
10-5201-2134	TELECOMMUNICATIONS	440	481
10-5201-2155	REPAIRS/MAINTENANCE	0	2,800
10-5201-2156	MAINTENANCE AGREEMENT	1,558	1,200
10-5201-2158	MISC CONTRACTUAL SERVICES	4,491	5,050
10-5201-2161	INCARCERATION CONTRACT	1,395	2,500
10-5201-3210	OPERATING SUPPLIES	1,893	6,100
10-5201-3233	UNIFORMS/CARE	0	500
10-5201-3235	FUEL	816	900
Total POLICE DEPT - ADMINISTRATION:		280,089	333,159

**POLICE DEPT - PATROL**

10-5202-1001	SALARIES/WAGES - REGULAR	1,375,365	1,618,191
10-5202-1002	SALARIES/WAGES - OVERTIME	73,456	65,000
10-5202-1005	SALARIES/WAGES - LONGEVITY	3,077	3,077
10-5202-1006	SALARIES/WAGES - ALLOWANCES	550	600
10-5202-1021	EMPLOYEE BENEFITS - SCL SCRTY	111,710	129,762
10-5202-1023	EMPLOYEE BENEFITS - HEALTH INS	520,723	649,454

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5202-1025	EMPLOYEE BENEFITS - WRKRS COMP	27,933	37,955
10-5202-1026	EMPLOYEE BENEFITS - DFRRD COMP	8,756	9,372
10-5202-1029	EMPLOYEE BENEFITS - WY RTRMNT	269,914	312,123
10-5202-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	435	1,494
10-5202-2122	TRAINING/DEVELOPMENT	10,640	16,736
10-5202-2123	MEALS/LODGING/TRAVEL	15,987	17,888
10-5202-2134	TELECOMMUNICATIONS	17,715	20,378
10-5202-2155	REPAIRS/MAINTENANCE	10,406	22,000
10-5202-2156	MAINTENANCE AGREEMENT	17,439	41,775
10-5202-2158	MISC CONTRACTUAL SERVICES	157	2,500
10-5202-3201	OFFICE SUPPLIES	0	500
10-5202-3210	OPERATING SUPPLIES	39,936	44,000
10-5202-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	19,300	48,829
10-5202-3233	UNIFORMS/CARE	12,834	23,500
10-5202-3235	FUEL	24,663	32,400
Total POLICE DEPT - PATROL:		2,560,996	3,097,534
<b>POLICE DEPT - CRISIS CONTAINME</b>			
10-5206-2122	TRAINING/DEVELOPMENT	0	2,686
10-5206-2123	MEALS/LODGING/TRAVEL	0	2,000
10-5206-3210	OPERATING SUPPLIES	3,619	10,000
Total POLICE DEPT - CRISIS CONTAINME:		3,619	14,686
<b>PUBLIC WORKS - ADMINISTRATION</b>			
10-5301-1001	SALARIES/WAGES - REGULAR	209,348	255,385
10-5301-1002	SALARIES/WAGES - OVERTIME	0	1,498
10-5301-1005	SALARIES/WAGES - LONGEVITY	1,498	0
10-5301-1006	SALARIES/WAGES - ALLOWANCES	825	900
10-5301-1021	EMPLOYEE BENEFITS - SCL SCRTY	16,248	19,780
10-5301-1023	EMPLOYEE BENEFITS - HEALTH INS	54,140	87,009
10-5301-1025	EMPLOYEE BENEFITS - WRKRS COMP	4,059	5,818
10-5301-1029	EMPLOYEE BENEFITS - WY RTRMNT	38,980	47,553
10-5301-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	0	240
10-5301-2122	TRAINING/DEVELOPMENT	0	640
10-5301-2123	MEALS/LODGING/TRAVEL	0	650
10-5301-2131	UTILITY SERVICES - ELECTRICITY	9,062	10,700

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5301-2132	UTILITY SERVICES - WTR/SWR/GRB	4,451	5,000
10-5301-2133	UTILITY SERVICES - NATURAL GAS	9,709	10,000
10-5301-2134	TELECOMMUNICATIONS	1,012	800
10-5301-2153	ARCHITECT/ENGINEERING/SURVEING	1,755	2,000
10-5301-2155	REPAIRS/MAINTENANCE	219	1,500
10-5301-2156	MAINTENANCE AGREEMENT	519	600
10-5301-3210	OPERATING SUPPLIES	3,233	4,000
10-5301-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	1,224	0
10-5301-3230	REFRESHMENT SUPPLIES	549	1,250
10-5301-3235	FUEL	993	1,500
Total PUBLIC WORKS - ADMINISTRATION:		357,823	456,823
<b>PUBLIC WORKS - SHOP</b>			
10-5302-1001	SALARIES/WAGES - REGULAR	224,531	243,356
10-5302-1002	SALARIES/WAGES - OVERTIME	2,141	500
10-5302-1005	SALARIES/WAGES - LONGEVITY	885	885
10-5302-1006	SALARIES/WAGES-ALLOWANCE	550	600
10-5302-1021	EMPLOYEE BENEFITS - SCL SCRTY	17,505	18,828
10-5302-1023	EMPLOYEE BENEFITS - HEALTH INS	133,154	145,250
10-5302-1025	EMPLOYEE BENEFITS - WRKRS COMP	4,387	5,538
10-5302-1029	EMPLOYEE BENEFITS - WY RTRMNT	42,207	45,406
10-5302-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	5,619	6,749
10-5302-2122	TRAINING/DEVELOPMENT	4,143	14,400
10-5302-2123	MEALS/LODGING/TRAVEL	0	1,600
10-5302-2141	EQUIPMENT RENT	0	200
10-5302-2155	REPAIRS/MAINTENANCE	2,908	6,000
10-5302-3210	OPERATING SUPPLIES	25,149	25,000
10-5302-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	16,099	18,500
10-5302-3235	FUEL	2,473	2,500
10-5302-3237	OIL/LUBE/FLUIDS	13,882	16,000
Total PUBLIC WORKS - SHOP:		495,634	551,312
<b>PUBLIC WORKS - STREETS/ALLEYS</b>			
10-5305-1001	SALARIES/WAGES - REGULAR	308,220	334,779
10-5305-1002	SALARIES/WAGES - OVERTIME	8,574	4,000
10-5305-1004	SALARIES/WAGES - TEMPORARY	9,930	16,800

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5305-1005	SALARIES/WAGES - LONGEVITY	1,267	1,267
10-5305-1006	SALARIES/WAGES - ALLOWANCES	275	300
10-5305-1021	EMPLOYEE BENEFITS - SCL SCRTY	25,140	27,352
10-5305-1023	EMPLOYEE BENEFITS - HEALTH INS	128,087	139,669
10-5305-1025	EMPLOYEE BENEFITS - WRKRS COMP	6,316	8,045
10-5305-1029	EMPLOYEE BENEFITS - WY RTRMNT	58,987	63,081
10-5305-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	0	240
10-5305-2122	TRAINING/DEVELOPMENT	3,769	8,100
10-5305-2123	MEALS/LODGING/TRAVEL	1,833	1,700
10-5305-2134	TELECOMMUNICATIONS	130	500
10-5305-2155	REPAIRS/MAINTENANCE	8,824	60,000
10-5305-2158	MISC CONTRACTUAL SERVICES	62,304	108,200
10-5305-3210	OPERATING SUPPLIES	89,696	90,000
10-5305-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	7,019	9,600
10-5305-3235	FUEL	17,972	28,000
Total PUBLIC WORKS - STREETS/ALLEYS:		738,343	901,633

**PARKS & RECREATION - ADMIN**

10-5350-1001	SALARIES/WAGES - REGULAR	17,720	0
10-5350-1006	SALARIES/WAGES - ALLOWANCES	100	0
10-5350-1021	EMPLOYEE BENEFITS - SCL SCRTY	1,375	0
10-5350-1023	EMPLOYEE BENEFITS - HEALTH INS	6,061	0
10-5350-1025	EMPLOYEE BENEFITS - WRKRS COMP	335	0
10-5350-1029	EMPLOYEE BENEFITS - WY RTRMNT	3,299	0
Total PARKS & RECREATION - ADMIN:		28,890	0

**PARKS & RECREATION - PARKS**

10-5351-1001	SALARIES/WAGES - REGULAR	268,927	273,016
10-5351-1002	SALARIES/WAGES - OVERTIME	611	5,500
10-5351-1004	SALARIES/WAGES - TEMPORARY	3,462	84,000
10-5351-1005	SALARIES/WAGES - LONGEVITY	1,064	1,064
10-5351-1006	SALARIES/WAGES - ALLOWANCES	225	300
10-5351-1021	EMPLOYEE BENEFITS - SCL SCRTY	21,005	27,867
10-5351-1023	EMPLOYEE BENEFITS - HEALTH INS	146,749	163,403
10-5351-1025	EMPLOYEE BENEFITS - WRKRS COMP	5,288	8,196
10-5351-1029	EMPLOYEE BENEFITS - WY RTRMNT	45,424	51,860

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5351-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	483	800
10-5351-2122	TRAINING/DEVELOPMENT	2,300	2,350
10-5351-2123	MEALS/LODGING/TRAVEL	546	500
10-5351-2131	UTILITY SERVICES - ELECTRICITY	18,352	22,000
10-5351-2132	UTILITY SERVICES - WTR/SWR/GRB	66,092	365,000
10-5351-2133	NATURAL GAS, PROPANE	398	500
10-5351-2141	EQUIPMENT - RENT	0	1,000
10-5351-2155	REPAIRS/MAINTENANCE	35,064	5,000
10-5351-2156	MAINTENANCE AGREEMENT	1,494	1,700
10-5351-2158	MISC CONTRACTUAL SERVICES	39,236	211,000
10-5351-3210	OPERATING SUPPLIES	40,617	57,000
10-5351-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	2,400	2,500
10-5351-3235	FUEL	8,703	10,000
Total PARKS & RECREATION - PARKS:		708,440	1,294,556

**PARKS & RECREATION - CEMETERY**

10-5352-1001	SALARIES/WAGES - REGULAR	140,258	160,546
10-5352-1002	SALARIES/WAGES - OVERTIME	2,421	1,500
10-5352-1004	SALARIES/WAGES - TEMPORARY	0	16,800
10-5352-1005	SALARIES/WAGES - LONGEVITY	420	420
10-5352-1006	SALARIES/WAGES - ALLOWANCES	225	300
10-5352-1021	EMPLOYEE BENEFITS - SCL SCRTY	10,986	13,767
10-5352-1023	EMPLOYEE BENEFITS - HEALTH INS	80,197	90,818
10-5352-1025	EMPLOYEE BENEFITS - WRKRS COMP	2,760	4,049
10-5352-1029	EMPLOYEE BENEFITS - WY RTRMNT	26,567	30,173
10-5352-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	100	100
10-5352-2122	TRAINING/DEVELOPMENT	600	650
10-5352-2131	UTILITY SERVICES - ELECTRICITY	2,545	3,500
10-5352-2132	UTILITY SERVICES - WTR/SWR/GRB	76,112	225,000
10-5352-2133	UTILITY SERVICES - NATURAL GAS	1,358	2,000
10-5352-2134	TELECOMMUNICATIONS	1,051	1,250
10-5352-2141	EQUIPMENT - RENT	0	200
10-5352-2155	REPAIRS/MAINTENANCE	0	1,500
10-5352-2156	MAINTENANCE AGREEMENT	967	1,000
10-5352-2158	MISC CONTRACTUAL SERVICES	21,787	10,000
10-5352-3210	OPERATING SUPPLIES	9,210	13,000
10-5352-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	1,790	2,500

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
10-5352-3235	FUEL	3,129	2,750
Total PARKS & RECREATION - CEMETERY:		382,481	581,823
<b>PARKS &amp; RECREATION - COMM CNTR</b>			
10-5353-2131	UTILITY SERVICES - ELECTRICITY	1,239	0
Total PARKS & RECREATION - COMM CNTR:		1,239	0
<b>PARKS &amp; RECREATION - POOL</b>			
10-5354-2131	UTILITY SERVICES - ELECTRICITY	3,902	3,500
10-5354-2132	UTILITY SERVICES - WTR/SWR/GRB	432	8,000
10-5354-2133	UTILITY SERVICES - NATURAL GAS	328	5,000
10-5354-2134	TELECOMMUNICATIONS	716	300
10-5354-2155	REPAIRS/MAINTENANCE	80	2,500
10-5354-2158	MISC CONTRACTUAL SERVICES	64,051	130,000
10-5354-3210	OPERATING SUPPLIES	2,641	8,000
10-5354-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	8,945	10,000
Total PARKS & RECREATION - POOL:		81,096	167,300
<b>POLICE SPECIAL PROJECTS FUND</b>			
<b>RURAL VIOLENT CRIME REDUCTION</b>			
13-5820-3220	EQUIPMENT/TOOLS NON CAPITALIZE	0	16,070
Total RURAL VIOLENT CRIME REDUCTION:		0	16,070
<b>HIGHWAY SAFETY TRAFFIC ENFORCE</b>			
13-5821-1001	SALARIES/WAGES - REGULAR	4,271	5,758
13-5821-1021	EMPLOYEE BENEFITS - SCL SCRTY	327	440
13-5821-1023	EMPLOYEE BENEFITS - HEALTH INS	876	0
13-5821-1025	EMPLOYEE BENEFITS - WRKRS COMP	83	130
13-5821-1029	EMPLOYEE BENEFITS - WY RTRMNT	795	1,072
Total HIGHWAY SAFETY TRAFFIC ENFORCE:		6,352	7,400
<b>SCHOOL RESOURCE OFFICER PRGRM</b>			

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
13-5830-1001	SALARIES/WAGES - REGULAR	13,313	0
13-5830-1021	EMPLOYEE BENEFITS - SCL SCRTY	1,018	0
13-5830-1023	EMPLOYEE BENEFITS - HEALTH INS	9,014	0
13-5830-1025	EMPLOYEE BENEFITS - WRKRS COMP	261	0
13-5830-1029	EMPLOYEE BENEFITS - WY RTRMNT	2,479	0

Total SCHOOL RESOURCE OFFICER PRGRM: 26,086 0

**OJJDP-UNDERAGE ENFORCEMENT**

13-5831-1001	SALARIES/WAGES - REGULAR	1,080	3,797
13-5831-1021	EMPLOYEE BENEFITS - SCL SCRTY	83	290
13-5831-1023	EMPLOYEE BENEFITS - HEALTH INS	110	0
13-5831-1025	EMPLOYEE BENEFITS - WRKRS COMP	21	85
13-5831-1029	EMPLOYEE BENEFITS - WY RTRMNT	209	707
13-5831-3210	OPERATING SUPPLIES	605	0

Total OJJDP-UNDERAGE ENFORCEMENT: 2,109 4,879

**BULLET PROOF VEST PROTECTION**

13-5838-3233	UNIFORMS/CARE	0	8,600
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Total BULLET PROOF VEST PROTECTION: 0 8,600

**WATER FUND**

**WATER - ADMINISTRATION**

31-5400-1150	DEPRECIATION	637,500	850,000
31-5400-2158	MISC CONTRACTUAL SERVICES	13,472	15,500
31-5400-2166	COLLECTION FEES	0	500
31-5400-2175	REFUNDS/REIMBURSEMENT EXPENSE	23	0
31-5400-4347	MANAGEMENT FEES	212,174	282,899

Total WATER - ADMINISTRATION: 863,169 1,148,899

**WATER - TREATMENT**

31-5401-1001	SALARIES/WAGES - REGULAR	124,714	135,110
31-5401-1002	SALARIES/WAGES - OVERTIME	6,368	6,000
31-5401-1005	SALARIES/WAGES - LONGEVITY	751	751

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
31-5401-1006	SALARIES/WAGES - ALLOWANCES	275	300
31-5401-1021	EMPLOYEE BENEFITS - SCL SCRTY	10,134	10,905
31-5401-1023	EMPLOYEE BENEFITS - HEALTH INS	49,908	54,657
31-5401-1025	EMPLOYEE BENEFITS - WRKRS COMP	2,540	3,207
31-5401-1029	EMPLOYEE BENEFITS - WY RTRMNT	24,407	26,275
31-5401-2122	TRAINING/DEVELOPMENT	939	2,570
31-5401-2123	MEALS/LODGING/TRAVEL	0	800
31-5401-2131	UTILITY SERVICES - ELECTRICITY	39,952	60,000
31-5401-2132	UTILITY SERVICES - WTR/SWR/GRB	1,422	10,000
31-5401-2133	UTILITY SERVICES - NATURAL GAS	5,655	8,000
31-5401-2134	TELECOMMUNICATIONS	220	1,600
31-5401-2140	RENT - LAND/BUILDINGS	12,278	13,000
31-5401-2153	ARCHITECT, ENG, SURVEY	2,370	4,000
31-5401-2155	REPAIRS/MAINTENANCE	41,909	45,000
31-5401-2156	MAINTENANCE AGREEMENT	10,388	12,000
31-5401-2158	MISC CONTRACTUAL SERVICES	17,335	50,000
31-5401-3210	OPERATING SUPPLIES	55,227	55,000
31-5401-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	14,113	20,500
31-5401-3235	FUEL	1,202	1,600
Total WATER - TREATMENT:		422,107	521,275

**WATER - DISTRIBUTION/MAINTNCE**

31-5402-1001	SALARIES/WAGES - REGULAR	222,297	257,597
31-5402-1002	SALARIES/WAGES - OVERTIME	10,938	7,500
31-5402-1004	SALARIES/WAGES - TEMPORARY	0	4,200
31-5402-1005	SALARIES/WAGES - LONGEVITY	1,047	1,296
31-5402-1006	SALARIES & WAGES - ALLOWANCES	275	300
31-5402-1021	EMPLOYEE BENEFITS - SCL SCRTY	17,971	20,753
31-5402-1023	EMPLOYEE BENEFITS - HEALTH INS	113,574	127,286
31-5402-1025	EMPLOYEE BENEFITS - WRKRS COMP	4,519	6,104
31-5402-1029	EMPLOYEE BENEFITS - WY RTRMNT	43,104	49,361
31-5402-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	3,581	2,000
31-5402-2122	TRAINING/DEVELOPMENT	258	2,113
31-5402-2131	UTILITY SERVICES - ELECTRICITY	12,220	18,000
31-5402-2132	UTILITY SERVICES - WTR/SWR/GRB	49,278	25,500
31-5402-2133	UTILITY SERVICES - NATURAL GAS	1,702	1,800
31-5402-2134	TELECOMMUNICATIONS	1,645	250

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
31-5402-2141	EQUIPMENT - RENT	0	400
31-5402-2153	ARCHITECT/ENGINEERING/SURVEY	135	2,000
31-5402-2155	REPAIRS/MAINTENANCE	2,252	30,000
31-5402-2156	MAINTENANCE AGREEMENT	1,095	3,000
31-5402-2158	MISC CONTRACTUAL SERVICES	11,986	13,375
31-5402-3210	OPERATING SUPPLIES	48,012	50,000
31-5402-3235	FUEL	6,190	7,500
31-5402-4310	LEASE PAYMENTS - OPERATING	459	500
31-5402-6544	IMPRVMNTS OTHER THAN BLDG	20,742	0
31-5402-6548	VEHICLES	0	0
Total WATER - DISTRIBUTION/MAINTNCE:		573,282	630,835
<b>WATER - CUSTOMER SERVICES</b>			
31-5403-1001	SALARIES/WAGES - REGULAR	57,908	62,768
31-5403-1005	SALARIES/WAGES - LONGEVITY	617	617
31-5403-1021	EMPLOYEE BENEFITS - SCL SCRTY	4,337	4,849
31-5403-1023	EMPLOYEE BENEFITS - HEALTH INS	33,299	36,321
31-5403-1025	EMPLOYEE BENEFITS - WRKRS COMP	1,126	1,426
31-5403-1029	EMPLOYEE BENEFITS - WY RTRMNT	10,783	11,687
31-5403-2134	TELECOMMUNICATIONS	0	220
31-5403-2155	REPAIRS/MAINTENANCE	0	1,500
31-5403-2156	MAINTENANCE AGREEMENT	3,610	3,000
31-5403-3210	OPERATING SUPPLIES	1,406	2,000
31-5403-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	29,032	40,000
31-5403-3235	FUEL	748	2,000
Total WATER - CUSTOMER SERVICES:		142,866	166,388
<b>WATER - TREATMENT CAPITAL</b>			
31-5405-6544	IMPRVMNTS OTHER THAN BLDG	31,541	2,539,500
31-5405-6548	VEHICLES	26,688	32,500
Total WATER - TREATMENT CAPITAL:		58,228	2,572,000
<b>WATER - DSTRBTN/MNTNC-CAPITAL</b>			
31-5406-6540	LAND	0	0
31-5406-6547	EQUIPMENT/FURNITURE	28,010	35,000

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
31-5406-6548	VEHICLES	254,530	319,530
Total WATER - DSTRBTN/MNTNC-CAPITAL:		282,539	354,530
<b>WATER - CUSTOMER SRVC CAPITAL</b>			
31-5407-6547	EQUIPMENT/FURNITURE	56,222	200,000
31-5407-6548	VEHICLES	71,637	71,637
Total WATER - CUSTOMER SRVC CAPITAL:		127,859	271,637
<b>WATER IMPROVEMENTS</b>			
31-5408-2153	ARCHITECT/ENGINEERING/SURVEY	76,602	10,000
31-5408-2158	MISC CONTRACTUAL	1,219,975	4,230,000
31-5408-6544	IMPRVMNTS OTHER THAN BLDG	151,638	140,000
Total WATER IMPROVEMENTS:		1,448,215	4,380,000
<b>WATER MAIN REPLACEMENTS</b>			
31-5409-2153	ARCHITECT/ENGINEERING/SURVEY	328,678	625,251
31-5409-6544	IMPRVMNTS OTHER THAN BLDG	2,331,823	4,278,299
Total WATER MAIN REPLACEMENTS:		2,660,501	4,903,550
<b>SEWER FUND</b>			
<b>SEWER - ADMINISTRATION</b>			
32-5500-1150	DEPRECIATION	345,000	460,000
32-5500-2158	MISC CONTRACTUAL SERVICES	8,701	10,000
32-5500-4347	MANAGEMENT FEES	121,558	162,077
Total SEWER - ADMINISTRATION:		475,258	632,077
<b>SEWER - TREATMENT</b>			
32-5501-1001	SALARIES/WAGES - REGULAR	114,552	124,307
32-5501-1002	SALARIES/WAGES - OVERTIME	1,676	5,000
32-5501-1005	SALARIES/WAGES - LONGEVITY	500	500
32-5501-1006	SALARIES/WAGES - ALLOWANCES	275	300
32-5501-1021	EMPLOYEE BENEFITS - SCL SCRTY	8,978	9,983

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
32-5501-1023	EMPLOYEE BENEFITS - HEALTH INS	50,003	54,611
32-5501-1025	EMPLOYEE BENEFITS - WRKRS COMP	2,250	2,936
32-5501-1029	EMPLOYEE BENEFITS - WY RTRMNT	21,641	24,077
32-5501-2122	TRAINING/DEVELOPMENT	396	2,570
32-5501-2123	MEALS/LODGING/TRAVEL	0	800
32-5501-2131	UTILITY SERVICES - ELECTRICITY	65,811	80,000
32-5501-2132	UTILITY SERVICES - WTR/SWR/GRB	2,433	10,000
32-5501-2134	TELECOMMUNICATIONS	2,077	3,000
32-5501-2153	ARCHITECT/ENGINEERING/SURVEY	0	4,000
32-5501-2155	REPAIRS/MAINTENANCE	4,062	30,000
32-5501-2158	MISC CONTRACTUAL SERVICES	9,885	20,000
32-5501-3210	OPERATING SUPPLIES	35,765	45,000
32-5501-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	20,494	41,500
32-5501-3235	FUEL	1,202	1,600
Total SEWER - TREATMENT:		342,002	460,184

**SEWER - COLLECTION**

32-5502-1001	SALARIES/WAGES - REGULAR	219,515	236,333
32-5502-1002	SALARIES/WAGES - OVERTIME	9,563	4,500
32-5502-1004	SALARIES/WAGES - TEMPORARY	0	4,200
32-5502-1005	SALARIES/WAGES - LONGEVITY	702	702
32-5502-1006	SALARIES & WAGES - ALLOWANCES	275	300
32-5502-1021	EMPLOYEE BENEFITS - SCL SCRTY	17,627	18,851
32-5502-1023	EMPLOYEE BENEFITS - HEALTH INS	94,574	103,195
32-5502-1025	EMPLOYEE BENEFITS - WRKRS COMP	4,424	5,545
32-5502-1029	EMPLOYEE BENEFITS - WY RTRMNT	42,330	44,843
32-5502-2120	DUES/MEMBERSHIPS/SUBSCRIPTIONS	4,036	2,000
32-5502-2122	TRAINING/DEVELOPMENT	1,023	2,112
32-5502-2131	UTILITY SERVICES - ELECTRICITY	10,431	12,000
32-5502-2132	UTILITY SERVICES - WTR/SWR/GRB	276	350
32-5502-2133	UTILITY SERVICES - NATURAL GAS	3,184	3,500
32-5502-2134	TELECOMMUNICATIONS	1,123	1,100
32-5502-2153	ARCHITECT/ENGINEERING/SURVEY	0	2,500
32-5502-2155	REPAIRS/MAINTENANCE	37,297	20,000
32-5502-2158	MISC CONTRACTUAL SERVICES	2,580	13,375
32-5502-3210	OPERATING SUPPLIES	25,533	45,000
32-5502-3235	FUEL	7,211	7,500

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
32-5502-4310	LEASE PAYMENTS - OPERATING	417	400
32-5502-6548	VEHICLES	0	0
Total SEWER - COLLECTION:		482,122	528,306
<b>SEWER - TREATMENT CAPITAL</b>			
32-5505-6544	IMPRVMNTS OTHER THAN BLDG	0	74,800
32-5505-6548	VEHICLES	27,619	32,500
Total SEWER - TREATMENT CAPITAL:		27,619	107,300
<b>SEWER - COLLECTION CAPITAL</b>			
32-5506-6548	VEHICLES	254,530	319,530
Total SEWER - COLLECTION CAPITAL:		254,530	319,530
<b>WASTEWATER TRTMNT PLANT REHAB</b>			
32-5507-2153	ARCHITECT/ENGINEERING/SURVEY	169,124	213,000
32-5507-6544	IMPRVMNTS OTHER THAN BLDG	715,912	754,000
Total WASTEWATER TRTMNT PLANT REHAB:		885,036	967,000
<b>SEWER MAIN REPLACEMENTS</b>			
32-5508-2153	ARCHITECT/ENGINEERING/SURVEY	198,056	931,000
32-5508-6544	IMPRVMNTS OTHER THAN BLDG	1,852,837	2,238,000
Total SEWER MAIN REPLACEMENTS:		2,050,893	3,169,000
<b>SANITATION FUND</b>			
<b>SANITATION</b>			
33-5600-1001	SALARIES/WAGES - REGULAR	149,990	158,138
33-5600-1002	SALARIES/WAGES - OVERTIME	0	600
33-5600-1005	SALARIES/WAGES - LONGEVITY	823	823
33-5600-1006	SALARIES/WAGES - ALLOWANCES	275	300
33-5600-1021	EMPLOYEE BENEFITS - SCL SCRTY	11,586	12,259
33-5600-1023	EMPLOYEE BENEFITS - HEALTH INS	83,250	90,807
33-5600-1025	EMPLOYEE BENEFITS - WRKRS COMP	2,906	3,606

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
33-5600-1029	EMPLOYEE BENEFITS - WY RTRMNT	27,928	29,557
33-5600-1150	DEPRECIATION	41,250	55,000
33-5600-2134	TELECOMMUNICATIONS	65	250
33-5600-2155	REPAIRS/MAINTENANCE	36	4,200
33-5600-2158	MISC CONTRACTUAL SERVICES	759,776	1,006,400
33-5600-3210	OPERATING SUPPLIES	20,080	38,000
33-5600-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	621	2,600
33-5600-3235	FUEL	19,722	26,000
33-5600-4347	MANAGEMENT FEES	128,189	170,918
33-5600-6548	VEHICLES	0	0

Total SANITATION:

1,246,495

1,599,458

**SANITATION CAPITAL**

33-5605-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	35,995	36,000
33-5605-6547	EQUIPMENT/FURNITURE	20,000	20,000
33-5605-6548	VEHICLES	249,994	249,994

Total SANITATION CAPITAL:

305,989

305,994

**LANDFILL FUND****LANDFILL**

34-5340-1001	SALARIES/WAGES - REGULAR	302,739	322,707
34-5340-1002	SALARIES/WAGES - OVERTIME	3,139	2,750
34-5340-1005	SALARIES/WAGES - LONGEVITY	607	607
34-5340-1006	SALARIES/WAGES - ALLOWANCES	550	600
34-5340-1021	EMPLOYEE BENEFITS - SCL SCRTY	24,388	25,922
34-5340-1023	EMPLOYEE BENEFITS - HEALTH INS	90,338	97,310
34-5340-1025	EMPLOYEE BENEFITS - WRKRS COMP	5,905	7,350
34-5340-1026	EMPLOYEE BENEFITS - DFRRD COMP	12,116	12,180
34-5340-1029	EMPLOYEE BENEFITS - WY RTRMNT	44,622	48,420
34-5340-1150	DEPRECIATION	78,750	105,000
34-5340-2122	TRAINING/DEVELOPMENT	750	750
34-5340-2123	MEALS/LODGING/TRAVEL	739	1,644
34-5340-2131	UTILITY SERVICES - ELECTRICITY	8,414	10,000
34-5340-2133	UTILITY SERVICES - NATURAL GAS	4,686	10,500
34-5340-2153	ARCHITECT/ENGINEERING/SURVEY	22,944	41,000

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
34-5340-2155	REPAIRS/MAINTENANCE	24,274	18,000
34-5340-2156	MAINTENANCE AGREEMENT	5,505	11,500
34-5340-2158	MISC CONTRACTUAL SERVICES	441,414	525,000
34-5340-3210	OPERATING SUPPLIES	88,940	82,000
34-5340-3220	EQUIPMENT/TOOLS-NON CAPITALIZE	2,352	2,500
34-5340-3235	FUEL	58,579	73,000
34-5340-4343	DEBT PAYMENT - PRINCIPAL	13,141	13,142
34-5340-4347	MANAGEMENT FEES	97,247	129,662
34-5340-6547	EQUIPMENT/FURNITURE	13,660	0
Total LANDFILL:		1,345,798	1,541,544

**LANDFILL - CAPITAL**

34-5345-6542	BUILDINGS/IMPROVEMENTS	99,789	135,000
34-5345-6544	IMPRVMNTS OTHER THAN BLDG	0	20,000
34-5345-6547	EQUIPMENT/FURNITURE	875,843	920,000
34-5345-6548	VEHICLES	57,164	65,000
Total LANDFILL - CAPITAL:		1,032,796	1,140,000

**EMPLOYEE HEALTH CARE FUND****EMPLOYEE HEALTH CARE**

39-5390-1023	EMPLOYEE BNFTS - HLTH INS PREM	833,945	792,000
39-5390-1032	EMPLOYEE BENEFITS - CLAIMS	3,929,991	1,500,000
39-5390-1058	HEALTH CARE - ADMINISTRTRN FEE	87,174	93,000
Total EMPLOYEE HEALTH CARE:		4,851,110	2,385,000

**ECONOMIC DEVELOPMENT****ECONOMIC DEVELOPMENT**

41-5410-2115	PUBLISHING/ADVERTISING	0	500
41-5410-2122	TRAINING/DEVELOPMENT	0	1,200
41-5410-2123	MEALS/LODGING/TRAVEL	102	1,200
41-5410-2158	MISC CONTRACTUAL SERVICES	34,429	145,000
41-5410-6540	LAND	54,814	50,000

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
Total ECONOMIC DEVELOPMENT:		89,345	197,900
<b>THE 112</b>			
41-5411-2158	MISC CONTRACTUAL SERVICES	304,043	1,433,300
Total THE 112:		304,043	1,433,300
<b>GENERAL FUND EQUIPMENT RESERVE</b>			
<b>GENERAL FUND EQUIPMENT RESERVE</b>			
47-5470-6547	EQUIPMENT/FURNITURE	177,295	306,798
47-5470-6548	VEHICLES	350,067	662,000
Total GENERAL FUND EQUIPMENT RESERVE:		527,362	968,798
<b>CAPITAL PROJ FIRE EQUIP FUND</b>			
<b>FIRE EQUIPMENT</b>			
50-5500-6548	BUILDINGS	49,259	0
Total FIRE EQUIPMENT:		49,259	0
<b>TRAIN CAR RESTORATION</b>			
<b>TRAIN CAR RESTORATION</b>			
54-5540-2155	REPAIRS/MAINTENANCE	10,410	20,000
Total TRAIN CAR RESTORATION:		10,410	20,000
<b>POOL IMPROVEMENTS FUND</b>			
<b>POOL IMPROVEMENTS</b>			
55-5550-2153	ARCHITECT/ENGINEERING/SURVEY	54,989	100,000
55-5550-6542	BUILDINGS/IMPROVEMENTS	0	15,000
55-5550-6544	IMPRVMNTS OTHER THAN BLDG	2,591,700	1,779,665

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
Total POOL IMPROVEMENTS:		2,646,689	1,894,665
<b>STREET IMPROVEMENT FUND</b>			
<b>STREET IMPROVEMENTS</b>			
56-5560-2153	ARCHITECT/ENGINEERING/SURVEY	369,880	1,207,050
56-5560-2158	MISC CONTRACTUAL SERVICES	5,250	70,000
56-5560-6544	IMPRVMNTS OTHER THAN BLDG	1,861,104	6,578,935
Total STREET IMPROVEMENTS:		2,236,235	7,855,985
<b>CAPITAL IMP -PUBLIC FACILITIES</b>			
<b>CAPITAL IMP -FACILITIES</b>			
57-5570-2153	ARCHITECT/ENGINEERING/SURVEY	42,390	0
57-5570-6542	BUILDINGS/IMPROVEMENTS	69,469	150,500
57-5570-6544	IMPRVMNTS OTHER THAN BLDG	175,388	0
Total CAPITAL IMP -FACILITIES:		287,246	150,500
<b>COMMUNITY FACILITY</b>			
57-5571-2153	ARCHITECT/ENGINEERING/SURVEY	246,874	300,000
57-5571-6542	BUILDINGS/IMPROVEMENTS	8,384,519	17,630,000
Total COMMUNITY FACILITY:		8,631,393	17,930,000
<b>CAPTL PROJ-PARK IMPRVMNT FUND</b>			
<b>PARK IMPROVEMENTS</b>			
65-5650-2153	ARCHITECT, ENG, SURVEY	22,985	50,000
65-5650-2158	MISC CONTRACTUAL SERVICES	262,984	385,000
65-5650-6544	IMPRVMNTS OTHER THAN BLDG	438,581	567,000
Total PARK IMPROVEMENTS:		724,550	1,002,000

**HISTORIC PRSRVTN CMSN FUND****HISTORIC PRESERVATION CMMSSN**

Account Number	Account Title	2025-26 Current year Actual	2025-26 Current year Budget
92-5920-2158	MISC CONTRACTUAL SERVICES	356	3,015
Total HISTORIC PRESERVATION CMMSSN:		356	3,015

**ARTS & CULTURE BOARD OF TRUSTE**

**ARTS & CULTURE BOARD OF TRUSTE**

93-5930-2158	MISC CONTRACTUAL SERVICES	9,331	25,000
Total ARTS & CULTURE BOARD OF TRUSTE:		9,331	25,000



## **Agenda Item Report City Council – June 22, 2026**

### **Item**

**Minutes:** Planning & Zoning Commission June 15, 2026

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

#### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment

SD Commitment Strategy

SD Commitment KPI

SD Outcome

SD Outcome Strategy

SD Outcome KPI

2014 Master Plan

2015 Downtown Master Plan

#### **Budget/Fiscal Impact**

Fund/Department

Project/Line Item(s)

Budgeted Amount

Anticipated Amount

#### **Action Requested/Recommended Motion**

#### **Attachments**

1. P&Z 20260615 Minutes

Planning Commission Regular Minutes  
June 15, 2026

I. Call to Order

Chairman Hancock called the Douglas Planning and Zoning Commission to order at 5:30 p.m.

II. Pledge of Allegiance

Chairman Hancock led the assembly in the Pledge of Allegiance.

III. Roll Call

Roll call was taken with the following Commissioners present: Dave Patterson, Scott Bauman, Robin Velasquez, Jay Hancock, Carl Kusters. Also present Heidi McCullough, Planning Technician.

IV. Approval of the Agenda

Commissioner Dave Patterson moved to approve the agenda . Seconded by Commissioner Carl Kusters. Motion 5-0.

V. Approval of the Minutes

Commissioner Carl Kusters moved to approve the minutes from May 18, 2026. Seconded by Commissioner Robin Velasquez. Motion 5-0.

A. **Minutes: Planning and Zoning Commission May 18, 2026.**

VI. Planning and Zoning Matters

A. **ZON2026-0001: Application by Bernadine Winton to rezone 600 W Clay Street (Riverview, Block 1, East 75.2' of Lot 1) from an R-2 Medium Density Residential Zone to an I Industrial Zone.**

Chairman Hancock opened the public hearing at 5:31 p.m. Planner I McCullough reviewed the location, zoning data, surrounding land uses, and compliance with the Douglas Blueprint. Staff recommendation was for approval. The applicant, Bernadine Winton, was on hand to answer any questions. There were no public comments. Chairman Hancock closed the public hearing at 5:34 p.m.

Commissioner Scott Bauman moved to approve ZON2026-001: Application by Bernadine Winton to rezone 600 W Clay Street (Riverview, Block 1, East 7.2' of Lot 1) from R-2 Medium Density Residential Zone to an I Industrial Zone. Seconded by Commissioner Dave Patterson. Motion 5-0.

VII. Code Considerations

Planner I discussed the Landscape Code that is currently being considered by the City Council.

VIII. Staff Report – City Council Action on Forwarded Items

- A. **CUP2026-0002: An application by Ed Pollock for a conditional use permit to install an Electronic Message Display Sign in a B-2 General Business Zone at 1730 Muirfield Court (United One Addition, Lot 11).**

Planner I McCullough reported that the City Council voted to approve this matter with Planning and Zoning Commission recommendations.

- B. **DEV2026-0002: Application by Nathan Stencil for a Type B Development to build an apartment complex in a B-2 General Business Zone at Parcel 3 of Seven Trails Commerce Center, NE 1/4, NE 1/4 of Section 7 and a portion of the SE 1/4, SE 1/4 of Section 6, T32N. R71W of the 6th PM.**

Planner I McCullough reported that the City Council voted to approve this matter with Planning and Zoning Commission recommendations.

IX. Adjournment

ATTEST:

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Heidi McCullough, Secretary

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Jay Hancock, Chairman



# Agenda Item Report

## City Council – June 22, 2026

### **Item**

**Notice of Possible Quorum:** June 26, 2026, 6:30 pm, 300 Walnut Street

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

### **Action Requested/Recommended Motion**

### **Attachments**

None



# Agenda Item Report

## City Council – June 22, 2026

### **Item**

**Notice of Possible Quorum:** June 27, 2026, 8:45 am, 101 N th St

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

### **Action Requested/Recommended Motion**

### **Attachments**

None



## **Agenda Item Report City Council – June 22, 2026**

### **Item**

**Notice of Possible Quorum:** July 9, 2026, 7 am, 206 Walnut St

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

#### **Alignment to Strategic Doing (SD) and/or Other Plans**

- SD Commitment
- SD Commitment Strategy
- SD Commitment KPI
- SD Outcome
- SD Outcome Strategy
- SD Outcome KPI
- 2014 Master Plan
- 2015 Downtown Master Plan

#### **Budget/Fiscal Impact**

- Fund/Department
- Project/Line Item(s)
- Budgeted Amount
- Anticipated Amount

#### **Action Requested/Recommended Motion**

#### **Attachments**

None



## Agenda Item Report City Council – June 22, 2026

### **Item**

**5th Penny:** Approved by Commissioners and placed on ballot for General election

### **Responsible Staff Contact**

### **Recommendation**

### **Executive Summary**

### **Background**

#### **Alignment to Strategic Doing (SD) and/or Other Plans**

SD Commitment  
SD Commitment Strategy  
SD Commitment KPI  
SD Outcome  
SD Outcome Strategy  
SD Outcome KPI  
2014 Master Plan  
2015 Downtown Master Plan

#### **Budget/Fiscal Impact**

Fund/Department  
Project/Line Item(s)  
Budgeted Amount  
Anticipated Amount

#### **Action Requested/Recommended Motion**

#### **Attachments**

1. 08-26 One Percent Sales Tax on 2026 General Ballot

**RESOLUTION NO. 08-26  
CONVERSE COUNTY BOARD OF COMMISSIONERS**

**A RESOLUTION DIRECTING THE ONE PERCENT  
OPTIONAL SALES TAX QUESTION BE PLACED ON THE BALLOT  
FOR THE 2026 GENERAL ELECTION**

**WHEREAS**, per W.S. §39-15-203 et seq. and §39-15-204 et seq., the One Percent Optional Sales Tax may be submitted for approval by the voters; and

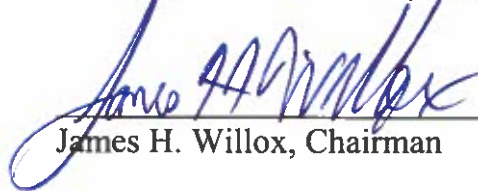
**WHEREAS**, the Board of Commissioners of Converse County believes the question should be placed on the 2026 General Election ballot for approval by the voters; and

**WHEREAS**, the Board of Commissioners of Converse County, as well as the majority of the incorporated municipalities within Converse County, believes it is a necessary tax in order to provide the services expected by the populace of Converse County.

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF CONVERSE COUNTY**, that the County Clerk be directed to place the One Percent Optional Sales Tax Question before the voters of Converse County at the General Election on November 3, 2026.

**PASSED, APPROVED AND ADOPTED** this 16<sup>th</sup> day of June 2026.

**BOARD OF COMMISSIONERS OF  
CONVERSE COUNTY, WYOMING:**

  
James H. Willox, Chairman



**ATTEST:**

  
\_\_\_\_\_  
Karen Rimmer, County Clerk

RESOLUTION NO. 2026-24

A RESOLUTION REQUESTING THE BOARD OF CONVERSE COUNTY COMMISSIONERS PLACE THE ONE PERCENT (1%) SALES TAX QUESTION ON THE BALLOT FOR THE 2026 GENERAL ELECTION

WHEREAS, the One Percent Optional Sales Tax is subject to voter approval during the 2026 General Election; and,

WHEREAS, the Governing Body of the City of Douglas has determined that the One Percent Sales Tax is a critical component of the City's general operating fund revenue; and,

WHEREAS, the Governing Body has also determined that the continuation of this tax is in the best interests of the community.

NOW THEREFORE, THE CITY COUNCIL OF DOUGLAS WYOMING, RESOLVES:

The Governing Body of the City of Douglas requests that the Board of County Commissioners place the One Percent (1%) Optional Sales tax question before the voters for the November 2026 General Election.

PASSED, APPROVED, AND ADOPTED this 11th day of May, 2026.

*Kim Pexton*  
\_\_\_\_\_  
Kim Pexton, Mayor

Attest:  
*Devon Litzinger*  
\_\_\_\_\_  
Devon Litzinger, City Clerk



**RESOLUTION 2026-9**

**A RESOLUTION REQUESTING THE CONVERSE COUNTY COMMISSIONERS PLACE THE 1% SALES TAX QUESTION ON THE BALLOT FOR THE 2026 GENERAL ELECTION.**

**WHEREAS, the One Percent Optional Sales Tax is subject to voter approval during the 2026 General Election; and**

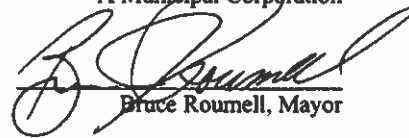
**WHEREAS, the Governing Body of the Town of Glenrock has determined that the One Percent Sales Tax is a critical component of the Town's general operating fund revenue; and**

**WHEREAS, the Town Council has determined that the continuation of this tax is in the best interest of the community.**

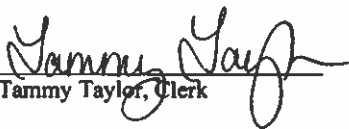
**NOW, THEREFORE, BE IT RESOLVED** by the Governing Body of the Town of Glenrock, Wyoming, that it approves and supports the acts of Converse County Commissioners in placing the issue before the voters at the next general election.

**PASSED, APPROVED AND ADOPTED** in open meeting this 8th day of June, 2026.

TOWN OF GLENROCK  
A Municipal Corporation

  
Bruce Roumell, Mayor

ATTEST:

  
Tammy Taylor, Clerk



**RESOLUTION 2026-473**

**A RESOLUTION REQUESTING THAT THE ONE PERCENT OPTIONAL SALES TAX  
BE PLACED ON THE BALLOT FOR THE 2026 GENERAL ELECTION**

**BE IT RESOLVED BY THE GOVERNING BODY OF THE TOWN OF ROLLING  
HILLS, WYOMING, THAT:**

**WHEREAS**, the one percent optional sales tax is subject to voter approval during the general election in 2026; and

**WHEREAS**, the Town Council for the Town of Rolling Hills has determined that the one percent optional sales tax is a critical component of the Town's general operating fund revenue.

**NOW THEREFORE, IT IS HEREBY RESOLVED** that the Converse County Clerk is requested to place the one percent optional sales tax question before the voters of Converse County in the general election in November 2026.

**DATED** this 5th day of May, 2026.

  
Jon O. Maines (May 7, 2026 10:50:31 MDT)

Jon O. Maines, Mayor

TOWN SEAL

ATTEST:

*State of Wyoming*  
**Town of  
Rolling Hills**  
*Est 1984*

  
Teresa Montgomery, Clerk/Treasurer

# EVENTS

- **2D Dino Needle Felting**  
June 22, 6P  
Converse County Library
- **Unearth: Insects**  
June 24, 6P  
Converse County Library
- **Great White Concert**  
June 26, 8P  
Glenrock Town Square
- **E Street Prophets Concert**  
July 3, 8P  
Glenrock Town Square
- **Douglas 250<sup>th</sup> Independence Day Celebration**  
July 4, 9A  
Douglas
- **Freedom Fest**  
July 4  
Washington Park
- **Drew Baldrige Concert**  
July 4, 8P  
Glenrock Town Square
- **Butterfly Wings**  
July 9, 11A  
Camp Douglas
- **Community Mural**  
July 9, 5P  
Washington Park
- **Hot Night in the Park**  
July 9, 5P  
Washington Park
- **Converse County Fair**  
July 10  
Fairgrounds
- **EMO Kids Concert**  
July 10, 8P  
Glenrock Town Square
- **Laramie Peak Endurance Challenge**  
July 11  
Laramie Peak
- **Introverts Book Club**  
July 11, 8A  
Blend

More information available at:

<https://www.seewhatconversecando.com/calendar/>

<https://douglas.brighttravel.com/events>



All Events Are Subject To Change