



CITY OF **DOUGLAS** WYOMING

**REGULAR CITY COUNCIL MEETING
July 27, 2026 – 2:30 PM**

Thank you for your cooperation in facilitating the public meeting process!

****Reasonable accommodations for persons with disabilities who wish to participate in this public meeting shall be made upon request to the City Manager, at 307-358-3462****

****Council meetings are broadcast live on Cable Channel 9 and streaming live on the City of Douglas website****

1. Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening

a. Ordinance 1070: An Ordinance Amending Section 16.5.5 of the Douglas Municipal Code Pertaining to Landscaping, Buffering, and Screening

Monday, July 27, 2026

Call to Order at:

Meeting Adjourned at:

Attached are four documents to review as part of the landscape ordinance update conversation:

1. The current code that is in use.
2. The latest track changes version.
3. A clean copy of the latest version.
4. Suggestions for incentive based changes versus a punitive code.

Throughout the discussion to date, the following goals have been repeated. Staff would like clear direction on whether these are goals the entire Council agrees on, if there should be changes, subtractions, or additions.

Goals

1. Do not take away private property rights.
2. Landscape with the local climate to reduce water usage and waste.
3. "Reward/Incentivize" property owners for installing water-wise landscaping. Consider incentives based on square footage.
4. Reduce submittal requirements for improvements to existing developed property.
5. Water rates may dictate landscape.
6. Reduce landscape coverage and buffering requirements.
7. In industrial zones, allow for just opaque fences and trees adjacent to streets and/or between use types.

Below is a summary of public comments regarding the landscape code.

Public Comments

1. Ensure the public understands the changes will only be applied to new construction or substantial alterations.
2. Encourage/advocate for partnerships with the Conservation District, Master Gardeners, UW, etc. to educate on how to install and maintain water-wise landscaping.
3. Require commercial and industrial properties to comply with landscaping requirements.
4. Encourage landscape to be "culturally appropriate" and "climate appropriate" for Wyoming via the code.
5. The City should set the example.
6. Enhance education.

5.5 Landscaping, Buffering, and Screening

5.5.1 General

A. Intent

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

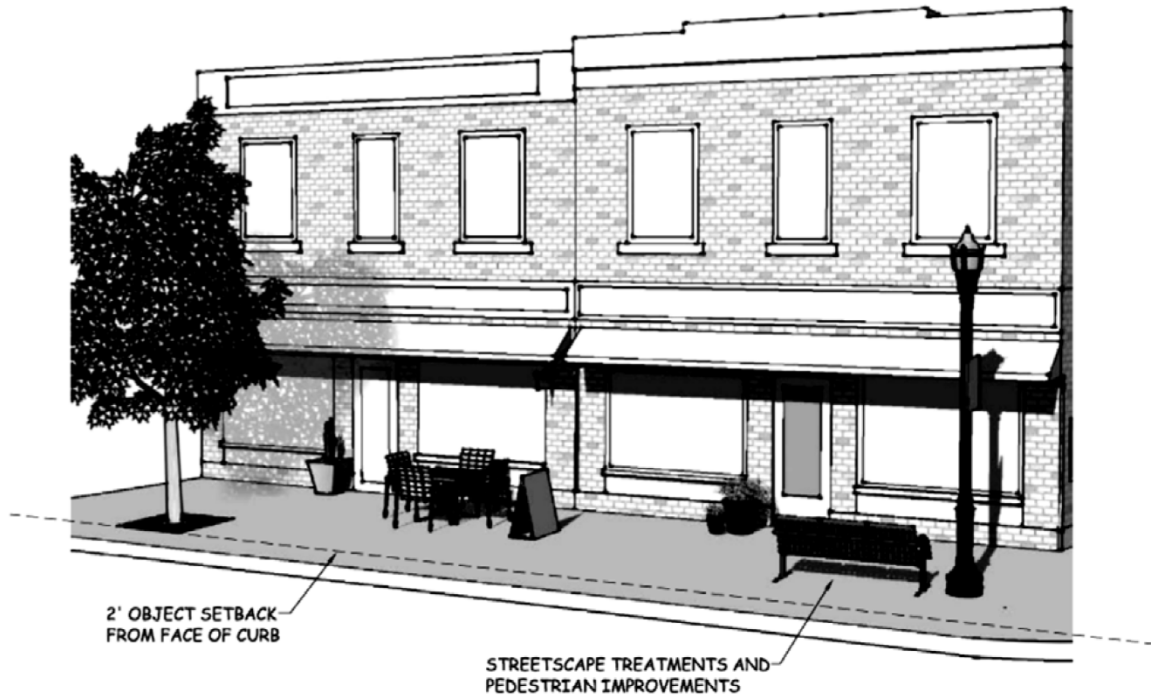
B. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3K, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

C. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5-2 below for an example of acceptable landscaping treatments).

Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District



D.Landscape Materials

i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

ii. Combination of Plant Materials and Types

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable xeriscape landscaping.

iii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

E.Completion of Required Landscaping

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a certificate of occupancy.

ii. Landscape Completion Agreement

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement. The landscape completion agreement shall include the time necessary to complete the required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial

assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

5.5.2 Alternate Landscape Plan

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan, and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

Under no circumstances shall an alternate landscape plan be approved if the plan would result in a reduction to any of the required landscape buffers or if the plan would eliminate a required landscape category.

5.5.3 Landscape Requirements

A. Street Trees/Roadway Landscaping

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

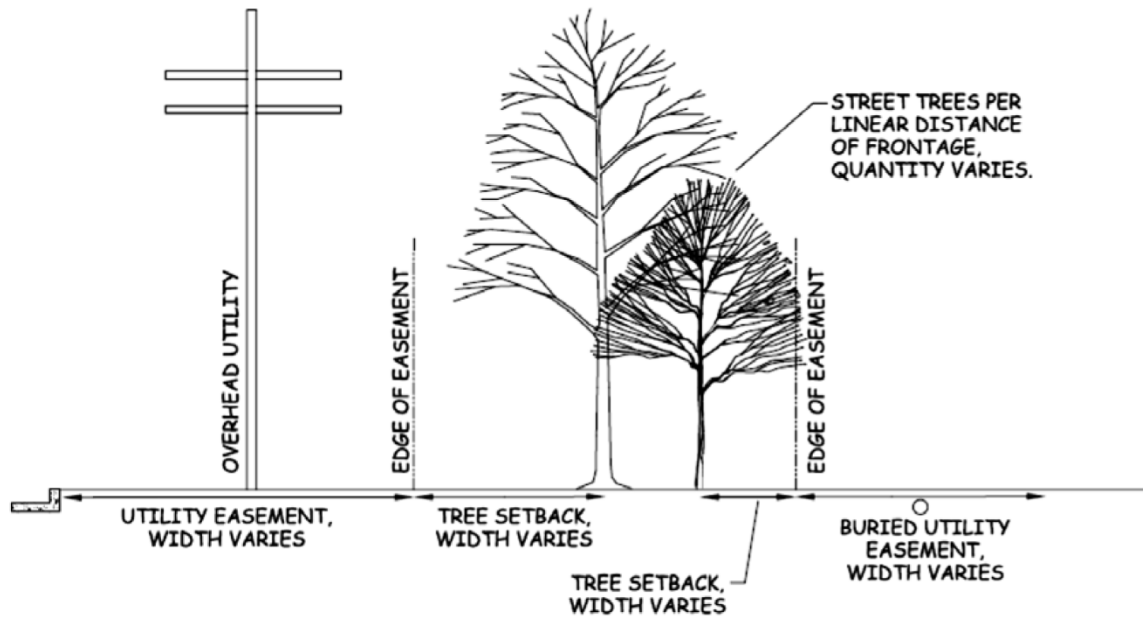
i. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-1 (see also Figure 5.5-2 below for an example of street tree setbacks).

Table 5.5-1 Street Tree Requirements

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

Figure 5.5-2: Example of street tree setbacks.



ii. **Approved Street Tree Species**

The use of any tree species not identified in Table 5.5-2 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the Community Development Director.

Table 5.5-2 Authorized Street Tree Species

Common Name	Botanical Name	Minimum Caliper Size/Height
Small Trees (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	<i>Acer glabrum</i>	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Norway Maple	<i>Acer platanoides</i>	
Shantung Maple	<i>Acer truncatum</i>	
Apple Serviceberry	<i>Amelanchier x grandiflora</i>	
Eastern Redbud	<i>Cercis canadensis</i>	
Cornelian Cherry	<i>Cornus mas</i>	
Russian Hawthorn	<i>Crataegus ambigua</i>	
Thornless Cockspur Hawthorn	<i>Crataegus crus-galli inermis</i>	
Amur Maackia	<i>Maackia amurensis</i>	
Prairie Rose Crabapple (fruitless)	<i>Malus ioensis</i>	
China Snow Lilac	<i>Syringa pekinensis</i>	
Summer Charm Lilac	<i>Syringa pekinensis</i>	
		<u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.

Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	
Medium Trees		
Trident Maple	Acer buergeranum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	
Common Alder	Alnus glutiosa	
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	
Large Trees		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iii. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (*Acer negundo*)
- Siberian elms (*Ulmus pumila*)
- Any of the poplar (*Populus*) species including cottonwoods, poplars, and aspens
- Any willow (*Salix*) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (*Fraxinus*) species
- Walnut (*Juglans*) species
- Silver maple (*Acer saccharinum*),
- Freeman maple (*Acer x freemannii*)
- Sunburst honeylocust (*Gleditsia triacanthos inermis* 'Sunburst')
- Bradford pear (*Pyrus calleryana* 'Bradford')
- Mulberry (*Morus*) species
- Russian-olive (*Elaeagnus angustifolia*)
- Tree-of-heaven (*Ailanthus altissima*).

B. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable xeriscaping treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.2-3 below. Internal landscaping requirements shall be in addition to the requirements for street trees, buffering, and screening.

Table 5.5-3 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped
Single-Family Residential, Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0 — 19,999 square feet	Ten percent (10%)
	20,000 square feet — one (1) acre	Eight percent (8%)
	Over one (1) acre	Six percent (6%)
Commercial and Industrial by Type A or Type B	0 — one (1) acre	Fifteen percent (15%)
	Over one (1) acre	Twenty percent (20%)
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	Twenty percent (20%) of the net developable site. Perimeter and parking lot landscaping areas can be included toward meeting the requirement.

i. Internal Landscaping Requirements

One (1) tree shall be provided within the internal landscape area for every 500 square feet of required internal landscape area. A minimum of 75% required internal landscape area shall be vegetated with live ground cover.

ii. Internal Landscaping Shall Not Create An Obstruction

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii. Exceptions to Internal Landscaping Requirements

Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsections 5.5.2.G and H below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.2.F.i. below

C.General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section. Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i. Landscape Setbacks

Landscaping shall be located and installed within the landscape setback between differing uses and differing zoning districts. Landscape setbacks shall be located outside of existing or proposed easements and existing or proposed public rights-of-way.

ii. Obstructions Prohibited

No tree, shrub, or other landscaping treatment installed for the purposes of buffering or screening shall be located in the front or side yard of a lot or parcel in a manner that could create an obstruction interfering with any of the following:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii. Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

iv. **Parking Lot Buffering and Screening**

a. **Required Parking Lot Buffer**

Parking lots and loading areas shall provide a minimum five (5) foot landscape buffer around the perimeter of the parking lot or loading area except in areas necessary to provide vehicular access to the site.

b. **Screened from Rights-of-Way**

Parking lots shall be screened from adjacent public rights-of-way with a combination of plantings, xeriscaping materials, and landscaped berms. Any landscaping or xeriscaping treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at the time of installation.

c. **Adjacent to Residential Uses**

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, xeriscaping materials, landscaped berms, and 100 % opaque fences or decorative walls. Any landscaping or xeriscaping treatments installed to screen parking lots from residential uses shall be at least three (3) feet in height at the time of installation.

d. **Required Screening**

Any parking lot buffer area within which a decorative screening wall is proposed shall also include live ground cover over a minimum of 75% of the buffer area.

D.Refuse Storage Screening

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-2 below for an example of refuse storage screening).

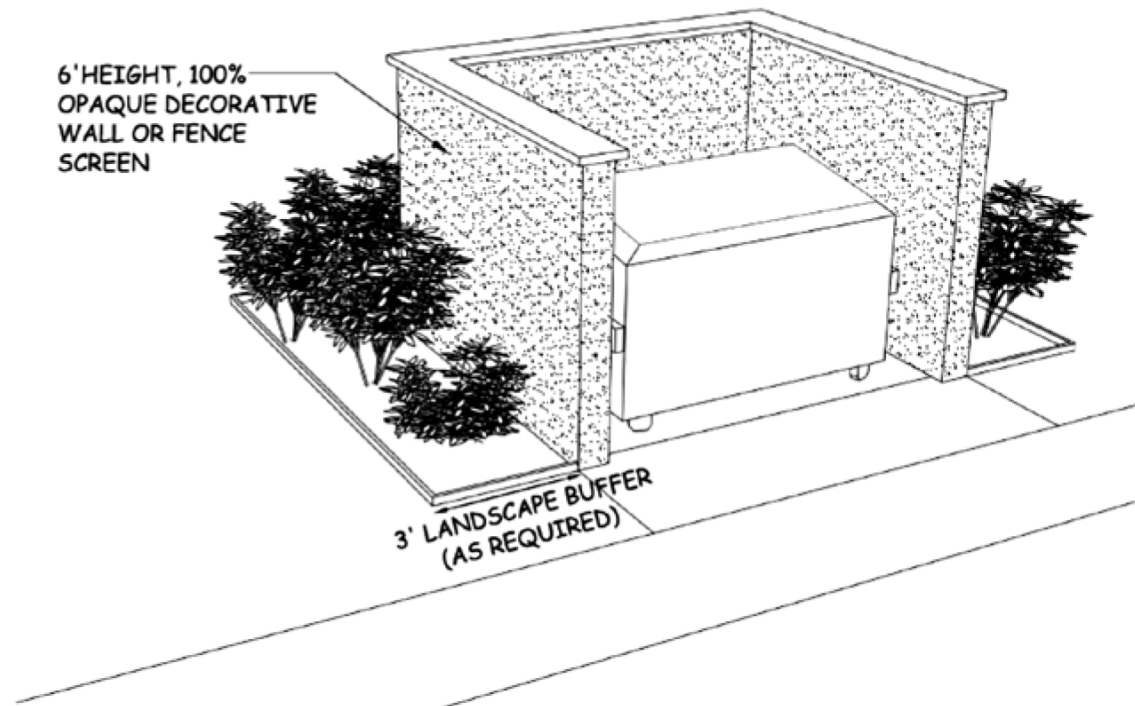
i. **Refuse Containers**

Refuse container enclosures shall be surrounded on three (3) sides by a 100% opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

ii. **Screening Requirements**

The non-access sides of the enclosure shall also have an additional three (3) foot landscape buffer around the perimeter of the enclosure and shall be screened with a minimum of 75% ground live ground cover, additional landscape plantings, or xeriscaping materials if the enclosure will be visible from a residential zoning district or an existing residential use.

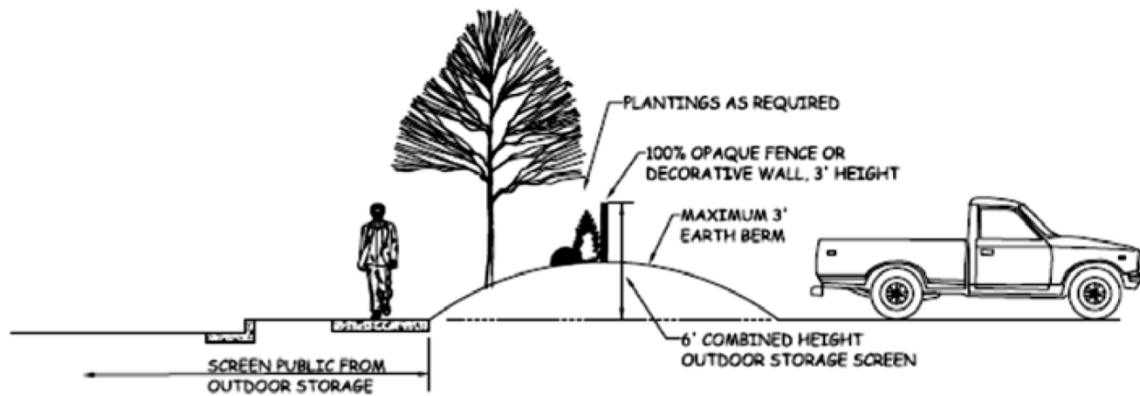
Figure 5.5-3: Example of refuse storage screening.



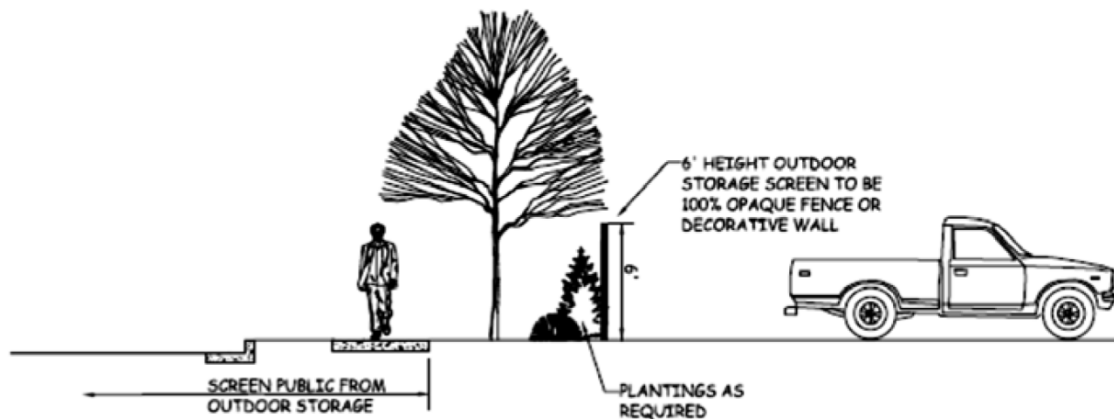
E. Outdoor Storage Screening

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, xeriscaping materials, landscaped berms, and 100% opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

Figure 5.5-4: Examples of outside storage screening.



OUTDOOR STORAGE SCREENING WITH EARTH BERM



OUTDOOR STORAGE SCREENING WITHOUT EARTH BERM

F. Commercial Buffering and Screening Requirements

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts with a combination of plantings, xeriscaping materials, landscaped earthen berms, and 100% opaque fences and decorative walls.

i. Required Landscape Buffer

Commercial uses adjacent to a residential zoning district shall provide a minimum 20-foot landscape buffer around the perimeter of the subject property. Landscape buffers shall include a minimum of 75% live ground cover including shrubs, live landscape materials, decorative and native grasses, and xeriscaping materials. A minimum of 30% of the landscape buffer area shall be covered with natural turf or native grasses.

ii. Required Screening

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a commercial use from an adjacent residential use. A minimum of

ten (10) shrubs may be substituted for each required tree. One-third ($\frac{1}{3}$) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts with a combination of plantings, xeriscaping materials, landscaped berms, and one hundred (100) percent opaque decorative screening walls.

i. Required Landscape Buffer

Where an industrial use abuts a non-industrial zone district or public right-of-way, the industrial use shall provide a minimum of twenty-five-foot landscape buffer. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, decorative and native grasses and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.

ii. Required Screening

Industrial uses adjacent to a non-industrial use shall be screened with a combination of landscaped berms and decorative walls. A minimum of one (1) tree for every thirty (30) feet of common property line with a non-industrial use shall be provided along the outside face of the wall to reduce a negative visual massing effect. A maximum of thirty (30) percent of the required wall trees may be substituted at a rate of fifteen (15) shrubs for each required tree. One-third ($\frac{1}{3}$) of the required trees shall be evergreen with a minimum height at maturity of six (6) feet to provide a year-round visual screening effect. The Community Development Director, in approving a Type A Development Plan, or the City Council, in approving a Type B or Type B-LSR Development Plan, may authorize an alternate screening plan to meet the industrial screening requirements.

iii. Industrial Screening Walls

Screening walls shall be at least six (6) feet in height including when used in combination with landscaped berms. The Community Development Director may permit an opaque fence to meet the required screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

H. Residential Landscaping Requirements

i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used exclusively for the planting and growing of trees, shrubs, lawns, gardens, xeriscaping, and other ground covering or landscaping material approved by the City. Each single-family residential site plan shall provide for the planting of a minimum of one (1) street tree, pursuant to the street tree requirements of this Chapter. No other landscaping requirements shall apply to single-family residential uses.

ii. Multi-Family Residential Buffering Requirements

Multi-family uses abutting a single-family residential or non-residential use shall provide a minimum fifteen-foot landscape buffer along the shared property line. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, decorative and native grasses and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.

iii. Multi-Family Residential Screening Requirements

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a multi-family residential use from an adjacent single-family residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third ($\frac{1}{3}$) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or one hundred (100) percent opaque fences or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen multi-family residential uses from single-family residential uses. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

I.Manufactured and Mobile Home Parks

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped earthen berms, and one hundred (100) percent opaque fences and decorative screening walls. The City Council, in approving a Type B Development Plan for a manufactured or mobile home park, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

i. Landscaping Plan Required

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

iii. Internal Landscape Requirements

A minimum of ten (10) percent of the gross site area of a manufactured and/or mobile home park shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

iv. Required Landscape Buffer

Manufactured and/or mobile home parks abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer pursuant to the requirements in Table 5.5-4 below. Landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-4 Minimum Manufactured/Mobile Home Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a manufactured and/or mobile home park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v. Required Landscape Screening

A minimum of one (1) tree shall be required for every twenty-five (25) linear feet of buffer area. A maximum of thirty (30) percent of the required trees may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third ($\frac{1}{3}$) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Manufactured and/or mobile home parks shall provide a minimum six (6) foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

J.Travel Trailer and RV Parks

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped berms, and decorative walls. The City Council, in approving a Type B Development Plan for a travel trailer or RV park, may require increased landscape buffers and screening between the proposed travel trailer and RV park site and the adjacent use if such park is adjacent to a visually-sensitive existing land use.

i. Landscaping Plan Required

All travel trailer or RV park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Travel trailer and RV parks shall comply with the general landscape requirements in Section 5.5.1 above.

iii. Internal Landscape Requirements

A minimum of ten (10) percent of the gross site area of a travel trailer and RV park shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted for every six hundred (600) square feet of designated park and recreation area.

iv. Required Landscape Buffer

Travel trailer or RV parks abutting a residential, commercial, or industrial zoning district shall provide landscape buffers pursuant to the requirements in Table 5.5-5 below. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-5 Minimum Travel Trailer/RV Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a travel trailer and RV park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v. Required Landscape Screening

A minimum of one (1) tree shall be required for every thirty (30) linear feet of buffer area. A maximum of thirty (30) percent of the required trees may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third ($\frac{1}{3}$) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi. Screening Requirements When Adjacent to Public Streets or Rights-of-Way

Travel trailer and RV parks shall provide a minimum six-foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when

combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

K. Irrigation and Maintenance

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

Commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health unless otherwise approved as a xeriscaping alternative. Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

(Ord. No. 967, § 42, 8-10-2015; Ord. No. 990, § 34, 5-22-2017; Ord. No. 1000, § 13, 6-10-2019)

ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

Section 1. Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

5.5 Landscaping, Buffering, and Screening

5.5.1 General

A. Intent

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief; and
- Discourage the spread of noxious weeds and invasive plant species;
- Promoting the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

B. Definitions

Turfgrass: Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

Water-Wise Landscape: Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

Xeriscape Landscape: Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

Zero-scape Landscape: Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

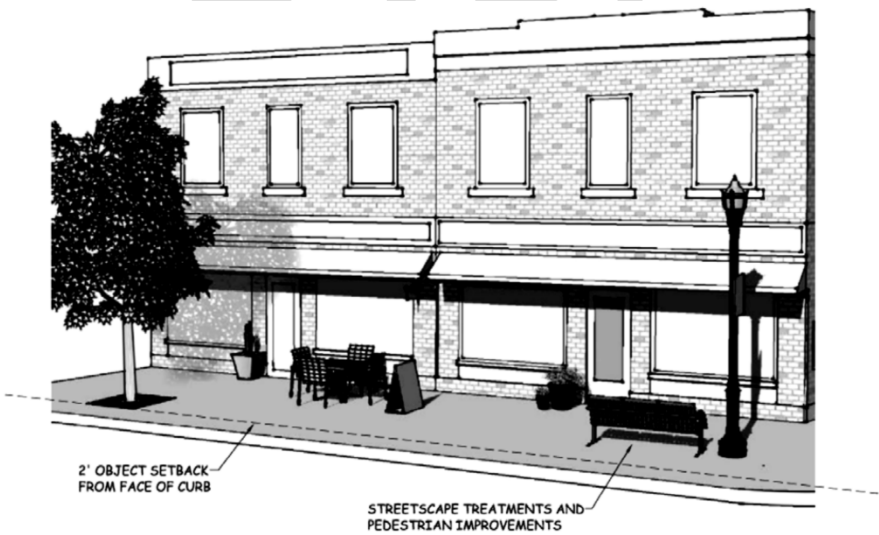
B.C. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3 JK, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

C.D. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5-25.5-1 below for an example of acceptable landscaping treatments).

Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District



D.E. Landscape Materials

i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

Water-Wise Landscaping

~~Douglas, Wyoming, receives an average annual precipitation of approximately 12.6 to 15 inches, making it a semi-arid region. Most moisture occurs in late spring and early summer, particularly in May. A water-wise approach to landscaping is appropriate and recommended in semi-arid regions where water supply is limited and in demand.~~

~~A water-wise landscape is one that is functional, attractive, and easily maintained in its natural surroundings. A water-wise landscape helps to conserve water while optimizing every drop toward the health, appearance, and performance of the built landscape.~~

~~Proper planning and design are essential to the success of any landscape and water-wise landscapes are no exception. Conserving water in the landscape can be accomplished by selecting low water use plants, designing and scheduling irrigation systems efficiently, grouping plants according to their water requirements, and using hardscaping materials (patios, stone paths, decks, etc.) appropriately to reduce the area requiring irrigation.~~

~~One of the most effective methods to conserve water in the built landscape is to reduce and minimize the amount of irrigated non-native turfgrass. Alternatives to thirsty turfgrass are described further below.~~

ii. Combination of Plant Materials and [Landscape TreatmentsTypes](#)

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable ~~water-wise~~ landscaping ~~along with non-living material such as mulch, gravel, boulders, or decorative elements.~~

~~Typically, a constructed landscape in the built environment includes the following treatments or site finishes:~~

- ~~Hardscape~~
 - ~~Parking lots~~
 - ~~Driveways~~
 - ~~Sidewalks~~
 - ~~Patios and public plazas~~
- ~~Softscape~~
 - ~~Non-native, turf-forming grass (such as Kentucky bluegrass or turf-type fescue)~~
 - ~~Native or adapted grasses~~
 - ~~Mulched landscape beds (with organic or inorganic mulches)~~
 - ~~Plant material (native, non-native and adaptable trees, shrubs, perennials, annuals)~~

~~The required landscape area shall consist of a minimum of twenty-five (25%) percent living plant material based on mature size of vegetation per Table 5.5-1. Living plant material may be comprised of irrigated turf (when permitted per this code section), native grass, or a water-wise landscape as described in this code section. The foliage crown of deciduous trees shall not may be used in the 25% living material calculation.~~

iii. ~~Zero-scape~~

~~Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.~~

iv. ~~iii.~~ ~~Minimizing Turfgrass~~

~~Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.~~

~~While this landscape treatment is widely used in semi-arid communities throughout the country, it requires large amounts of water and energy to maintain.~~

~~There are many appropriate and important applications for turf, including for civic, community, or recreational purposes such as parks, sports fields, and playgrounds. However, often turfgrass is non-functional and located in areas that receive little, if any use. In this instance there is a high volume of water being used for essentially non-functional ornamental purposes. In most of these cases irrigated turf could be replaced with water-wise landscape treatments without adversely impacting quality of life or landscape functionality.~~

~~By eliminating turfgrass, you drastically reduce the need for mowing and herbicides, and fertilizers that turf needs to thrive. Switching to water-wise landscapes can reduce maintenance costs by up to 60%.~~

~~To the extent possible, irrigated water-wise turfgrass shall be minimized and limited only to the civic, community or recreational applications described abovefunctional areas and not used for strictly ornamental purposes.~~

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- ~~i. Turfgrass shall not be used in narrow, non-functional areas that are difficult to water efficiently without significant overspray. This would include but not be limited to applications such as parking lot and roadway islands, and right-of-way areas between detached sidewalk and back of curb as well as similar street and parkway applications. In addition to being narrow and hard to irrigate efficiently these areas are frequently unshaded and very hot. This requires even greater amounts of water to maintain the health and appearance of turf.~~

~~ii. Single Family Residential Turf~~

- ~~Front Yard – Irrigated turf in frontage areas shall not exceed 40% of the landscape area or 1,000 sf whichever is less and shall be a minimum of 8' in all directions.~~
- ~~Side Yard – The use of irrigated turf is generally discouraged in narrow side yard applications.~~
- ~~Back Yard – Irrigated turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

~~Irrigated sod shall be prohibited except in active recreation areas on all other building types, development sites and landscape tracts unless otherwise approved by the City.~~

Commented [DL2]: This statement has wide implications. Consider the impacts and consider discussing with Council

~~Exception: Acceptable waterwise lawn-type grass (alternatives to bluegrass and similar turfgrass species) could include blends or mixes that thrive with minimal irrigation once established, that requires fewer inputs than traditional turf, that provide pollinator support in the form of habitat edges and wildflower borders, that provide a no-mow option growing low and lush without frequent mowing, and that performs well in full sun, partial sun and shaded areas.~~

~~Some seed species and mix types are described below. These are provided as general examples. The city recommends working with a landscape professional, county extension, or other knowledgeable professionals when selecting a seed mix for your site and conditions:~~

- ~~Shortgrass Prairie Turf Mix (blue grama-buffalograss dominant)~~
- ~~Native Low-Grow Turf Mix (blue grama, buffalograss, Sandberg bluegrass)~~
- ~~Open Space Mix (western wheatgrass with shortgrasses)~~
- ~~Native Lawn Alternative Mix (native grasses with limited fine fescue)~~

~~These alternative grass solutions should not be viewed as a universal alternative to non-native turfgrass in all instances but rather another option to consider when developing a landscape plan. These alternative lawn types typically do not support the same foot traffic and physical impact that turf-forming grass can tolerate and have very specific lighting requirements.~~

v. Traditional Spray Irrigation

~~Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described above in this code. Even the lower water use natives and adapted alternates to turfgrass will require some overhead spray irrigation to establish and to remain robust enough to thrive and compete with invasive weed species. All other irrigation systems shall be drip or micro spray systems.~~

vi. Minimizing Synthetic Turf

~~As with non-native turf grass, there are many appropriate and important applications for synthetic (artificial) turf, including for high use civic, community, or recreational applications such as sports fields, and playgrounds. And like non-native turfgrass, synthetic turf can have negative environmental impacts. In some situations, synthetic turf has been found to exacerbate heat island effects in urban areas and releasing harmful chemicals.~~

~~To the extent possible, synthetic turf shall be minimized and limited only to the civic, community or recreational applications described above and not used for strictly ornamental purposes. shall include a minimum of one tree to reduce “heat-island” effect.~~

~~Exception: Synthetic turf used for recreational purposes such as ballfields.~~

~~Synthetic turf shall not be used in narrow, non-functional areas in front yards or in commercial landscapes.~~

~~Single Family Residential Turf~~

~~Front Yard—Synthetic turf shall be prohibited in front yards for strictly ornamental purposes and unless otherwise approved by the City.~~

~~Back Yard—Irrigated turf, synthetic turf, water-wise landscaping, or any combination thereof is acceptable in back and rear yard applications.~~

iii.vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

E.F. Completion of Required Landscaping for New Development

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

Exception: Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

ii. Landscape Completion Agreement

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the

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required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

5.5.2 Alternate Landscape Plan

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a ~~Residential, Commercial, or~~ Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- ~~Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan;~~ ~~and~~
- ~~Whether the plan considers water-wise landscape practices; and~~
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

~~Under no circumstances shall an alternate landscape plan be approved if the plan would result in a reduction to any of the required landscape buffers or if the plan would eliminate a required landscape category.~~

5.5.3 Landscape Requirements

A. Internal Landscaping

~~Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.~~

Table 5.5-1 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped	Percentage of Landscaped Area Required to be Living Plant Material	Number of Internal Trees Required

Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%)	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%)	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

i. Exceptions to Internal Landscaping Requirements

- a. Developments with approved Alternate Landscape Plans.
- b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

A.B. Street Trees/Roadway Landscaping

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

i. Type A Development Exception

Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.

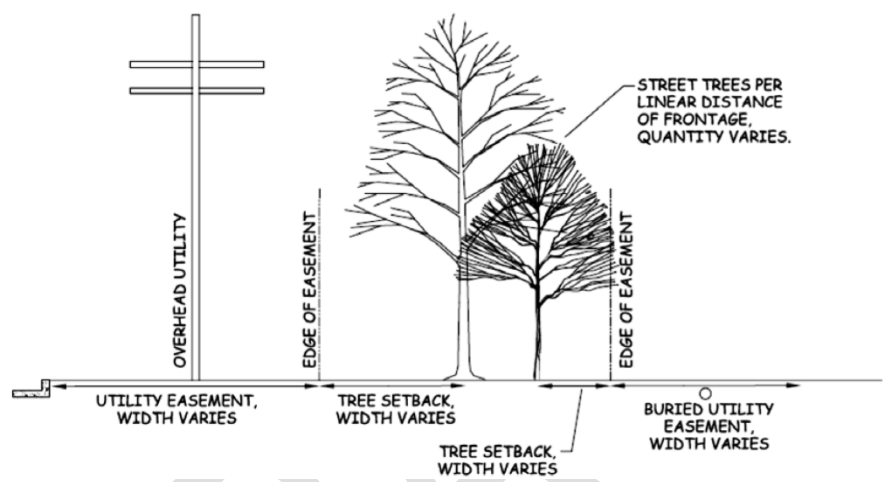
i.ii. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-12 (see also Figure 5.5-2 below for an example of street tree setbacks).

Table 5.5-12 Street Tree Requirements

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

Figure 5.5-2: Example of street tree setbacks.



ii-iii. Approved Street Tree Species

The use of any tree species not identified in Table 5.5-23 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the [Community Development Parks and Recreation](#) Director.

Table 5.5-23 Authorized Street Tree Species

Common Name	Botanical Name	Minimum Caliper Size/Height
Small Trees (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	Acer glabrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper
Norway Maple	Acer platanoides	
Shangtung Maple	Acer truncatum	
Apple Serviceberry	Amelanchier x grandiflora	
Eastern Redbud	Cercis canadensis	NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height.
Cornelian Cherry	Cornus mas	
Russian Hawthorn	Crataegus ambigua	
Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	
Amur Maackia	Maackia amurensis	

Prairie Rose	Malus ioensis	<u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Crabapple (fruitless)		
China Snow Lilac	Syringa pekinensis	
Summer Charm Lilac	Syringa pekinensis	
Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	
Medium Trees		
Trident Maple	Acer buergeranum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	
Common Alder	Alnus glutiosa	
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	
Large Trees		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iii-iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (Acer negundo)
- Siberian elms (Ulmus pumila)
- Any of the poplar (Populus) species including cottonwoods, poplars, and aspens
- Any willow (Salix) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (Fraxinus) species
- Walnut (Juglans) species
- Silver maple (Acer saccharinum),
- Freeman maple (Acer x freemannii)
- Sunburst honeylocust (Gleditsia triacanthos inermis 'Sunburst')
- Bradford pear (Pyrus calleryana 'Bradford')
- Mulberry (Morus) species
- Russian-olive (Elaeagnus angustifolia)
- Tree-of-heaven (Ailanthus altissima).

B. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable xeriscaping water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.52-3 below. Internal landscaping requirements shall be in addition to the requirements for street trees, buffering, and screening. All remaining open soil areas of the site that have been disturbed by construction that are not landscaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

Table 5.5-3 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped
Single-Family Residential, Multi-Family Residential, Manufactured and Mobile Home Parks, and Travel Trailer and RV Parks	0—19,999 square feet	Ten percent (10%)
	20,000 square feet — one (1) acre	Eight percent (8%)
	Over one (1) acre	Six percent (6%)
Commercial and Industrial by Type A or Type B	0— one (1) acre	Fifteen percent (15%)No % requirement— see buffer section 5.5.3C.
	Over one (1) acre	No % requirement— see buffer section 5.5.3C.Twenty percent (20%)
Large-Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	Twenty percent (20%) of the net developable site. Perimeter and parking lot landscaping areas can be included toward meeting the requirement.

i. Internal Landscaping Requirements

One (1) tree shall be provided within the internal landscape area for every 500 square feet of required internal landscape area. A minimum of 75% required internal landscape area shall be vegetated with live ground cover.

ii. Internal Landscaping Shall Not Create An Obstruction

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii. Exceptions to Internal Landscaping Requirements

Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsections 5.5.2.G and H below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.2.F.i. below

C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section except where adjacent to a similar lot. ~~(provide example).~~

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i. Landscape Setbacks

Landscaping shall be located and installed within the landscape setback between differing uses and differing zoning districts. Landscape setbacks shall be located outside of existing or proposed easements and existing or proposed public rights-of-way.

ii. Obstructions Prohibited

No tree, shrub, or other landscaping treatment installed for the purposes of buffering or screening shall be located in the front or side yard of a lot or parcel in a manner that could create an obstruction interfering with any of the following:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

iii.i. Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

iv.ii. Parking Lot Buffering and Screening

a. Required Parking Lot Buffer

Commented [DL4]: Do we need to provide an example?

Commented [CC5R4]: Create example as a drawing.

~~Parking lots and loading areas shall provide a minimum five (5) foot landscape buffer around the perimeter of the parking lot or loading area except in areas necessary to provide vehicular access to the site.~~

~~b.a. Screened Buffering~~ from Rights-of-Way

Parking lots shall be ~~screened buffered~~ from adjacent public rights-of-way with a combination of plantings, ~~xeriscaping materials~~, and landscaped berms. Any landscaping ~~or xeriscaping~~ treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at ~~the time of installation~~full maturity.

~~e.b. Adjacent to Residential Uses~~

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, ~~xeriscaping materials~~, landscaped berms, ~~and/or one hundred (100%) percent~~ opaque fences or decorative walls. ~~Any landscaping or xeriscaping treatments installed to screen parking lots from residential uses shall be at least three (3) feet in height at the time of installation.~~

~~d. Required Screening~~

~~Any parking lot buffer area within which a decorative screening wall is proposed shall also include live ground cover over a minimum of 75% of the buffer area.~~

D. Refuse Storage Screening

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-32 below for an example of refuse storage screening).

i. Refuse Containers

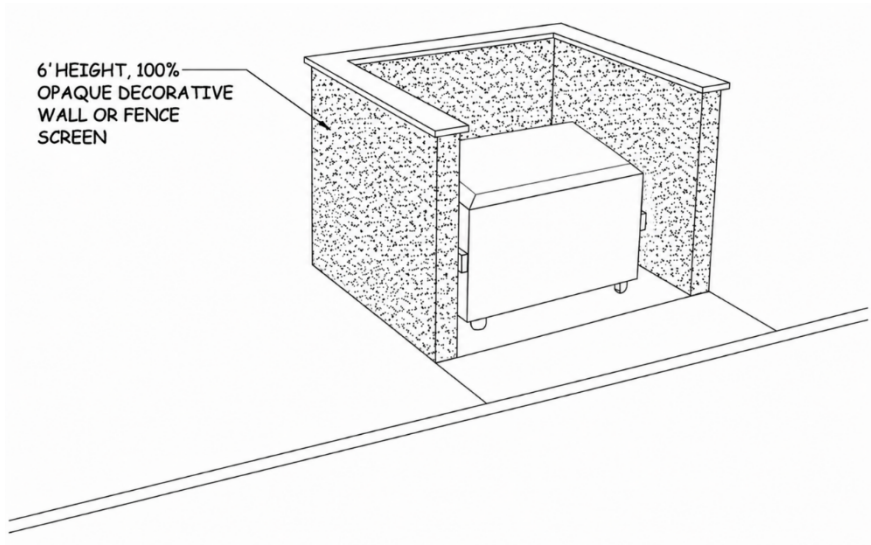
Refuse container enclosures shall be surrounded on three (3) sides by a ~~one hundred (100%) percent~~ opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

~~ii. Screening Requirements~~

~~The non-access sides of the enclosure shall also have an additional three (3) foot landscape buffer around the perimeter of the enclosure and shall be screened with a minimum of 75% ground live ground cover or, additional landscape plantings, or xeriscaping materials if the enclosure will be visible from a residential zoning district or an existing residential use.~~

Figure 5.5-3: Example of refuse storage screening.

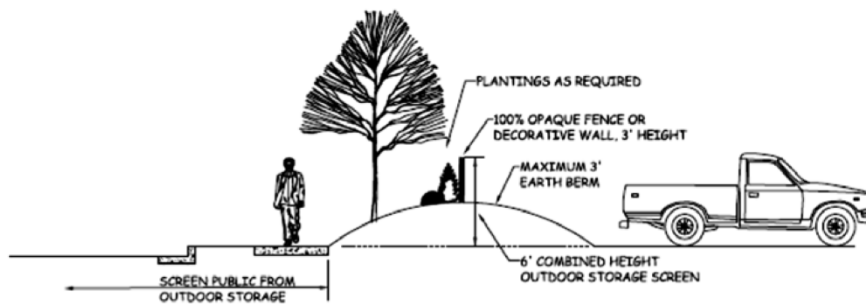
Commented [CC6]: Ask David to redraw this figure without the landscape buffer.



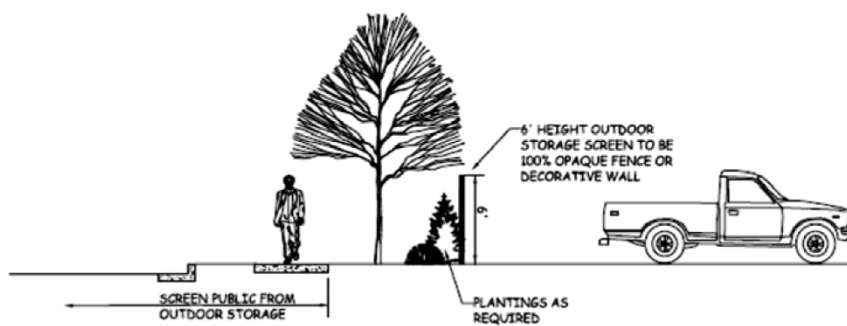
E. Outdoor Storage Screening (Commercial and Industrial)

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, ~~xeriscaping materials~~, landscaped berms, ~~and/or one hundred (100%) percent~~ opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

Figure 5.5-4: Examples of outside storage screening.



OUTDOOR STORAGE SCREENING
WITH EARTH BERM



OUTDOOR STORAGE SCREENING
WITHOUT EARTH BERM

F. Commercial Buffering and Screening Requirements

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts. Screening may include with a combination of plantings, xeriscaping materials, landscaped earthen berms, and a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

i. Required Landscape Buffer

Commercial uses adjacent to a residential zoning district shall provide a minimum 20-foot landscape buffer around the perimeter of the subject property. Landscape buffers shall include a minimum of 75% live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of 30% of the landscape buffer area shall be covered with natural turf or native grasses.

ii. Required Screening

A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a commercial use from an adjacent residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when

~~combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.~~

G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts. ~~Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, with a combination of plantings, xeriscaping materials, landscaped berms, and one hundred (100) percent opaque decorative screening walls.~~

~~i. Required Landscape Buffer~~

~~Where an industrial use abuts a non-industrial zone district or public right-of-way, the industrial use shall provide a minimum of twenty-five-foot-foot landscape buffer. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials.~~

~~A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.~~

~~ii. Required Screening~~

~~Industrial uses adjacent to a non-industrial use shall be screened with a combination of landscaped berms and decorative walls. A minimum of one (1) tree for every thirty (30) feet of common property line with a non-industrial use shall be provided along the outside face of the wall to reduce a negative visual massing effect. A maximum of thirty (30) percent of the required wall trees may be substituted at a rate of fifteen (15) shrubs for each required tree. One-third (1/3) of the required trees shall be evergreen with a minimum height at maturity of six (6) feet to provide a year-round visual screening effect. The Community Development Director, in approving a Type A Development Plan, or the City Council, in approving a Type B or Type B-LSR Development Plan, may authorize an alternate screening plan to meet the industrial screening requirements.~~

~~iii.i. Industrial Screening Fences, Walls, & Combinations~~~~Walls~~

~~Screening fences or walls shall be at least six (6) feet in height including when used in combination with landscaped berms. When using a combination of berms and fences or walls, The Community Development Director may permit an opaque fence to meet the required screening. T~~~~he minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.~~

H. Residential Landscaping Requirements

i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used ~~exclusively~~ for the planting and growing of trees, shrubs, ~~lawns~~, gardens, ~~xeriscaping~~, and other ~~water-wise~~ ground covering or landscaping material approved by the City. ~~Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged.~~ Each single-family residential site plan

shall provide for the planting of a minimum of one (1) ~~street tree, pursuant to the street tree requirements of this Chapter.~~ No other landscaping requirements shall apply to single-family residential uses.

ii. **Multi-Family Residential Buffering Requirements**

~~All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.~~

~~Multi-family uses abutting a single-family residential or non-residential use shall provide a minimum fifteen-foot landscape buffer along the shared property line. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be natural turf or native grasses.~~

iii. ~~Multi-Family Residential Screening Requirements~~

~~A minimum of one (1) tree shall be provided for every twenty (20) feet of common property line separating a multi-family residential use from an adjacent single-family residential use. A minimum of ten (10) shrubs may be substituted for each required tree. One-third (1/3) of the required trees shall not be substituted with shrubs and shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening. The minimum height of landscaped earthen berms or one hundred (100) percent opaque fences or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen multi-family residential uses from single-family residential uses. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.~~

I. **Manufactured and Mobile Home Parks / ~~Travel Trailer and RV Parks~~**

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts. ~~Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.~~ with a combination of plantings, xeriscaping materials, landscaped earthen berms, and one hundred (100) percent opaque fences and decorative screening walls.

~~All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.~~

The City Council, in approving a Type B Development Plan ~~for a manufactured or mobile home park~~, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

- i. Landscaping Plan Required
All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.
- ii. Compliance with General Landscape Requirements of this Section
Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.
- iii. Internal Landscape Requirements
A minimum of ten (10%) percent of the gross site area ~~of a manufactured and/or mobile home park~~ shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.
- iv. Required Landscape Buffer
Manufactured and/or mobile home parks ~~or travel trailer and RV parks~~ abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer. ~~Buffering pursuant to the requirements in Table 5.5-4 below. may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.~~ Landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-4 Minimum Manufactured/Mobile Home Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a manufactured and/or mobile home park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

- v. Required Landscape Screening
A minimum of one (1) tree shall be required for every twenty-five (25) linear feet of buffer area. A maximum of thirty (30) percent of the required trees may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.
- vi-v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way
Manufactured and/or mobile home parks ~~or travel trailer and RV parks~~ shall be buffered from adjacent public rights-of-way. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.
shall provide a minimum six (6) foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when

combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

J.—Travel Trailer and RV Parks

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, xeriscaping materials, landscaped berms, and decorative walls. The City Council, in approving a Type B Development Plan for a travel trailer or RV park, may require increased landscape buffers and screening between the proposed travel trailer and RV park site and the adjacent use if such park is adjacent to a visually-sensitive existing land use.

i.—Landscape Plan Required

All travel trailer or RV park development plans shall include a landscaping plan for the entire plan area.

ii.—Compliance with General Landscape Requirements of this Section

Travel trailer and RV parks shall comply with the general landscape requirements in Section 5.5.1 above.

iii.—Internal Landscape Requirements

A minimum of ten (10) percent of the gross site area of a travel trailer and RV park shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted for every six hundred (600) square feet of designated park and recreation area.

iv.—Required Landscape Buffer

Travel trailer or RV parks abutting a residential, commercial, or industrial zoning district shall provide landscape buffers pursuant to the requirements in Table 5.5-5 below. Required landscape buffers shall include a minimum of seventy-five (75) percent live ground cover including shrubs, live landscape materials, as well as decorative and native grasses, and xeriscaping materials. A minimum of thirty (30) percent of the landscape buffer area shall be turf or native grasses.

Table 5.5-5 Minimum Travel Trailer/RV Park Landscape Buffers

	Adjacent Use		Adjacent to Street
	Residential	Non-Residential	
Landscape Buffer	15 feet*	10 feet*	20 feet*

* NOTE: Where a travel trailer and RV park is located across a street from a residential or non-residential use, only the twenty-foot street buffer shall be required.

v.—Required Landscape Screening

A minimum of one (1) tree shall be required for every thirty (30) linear feet of buffer area. A maximum of thirty (30) percent of the required trees for may be substituted with shrubs at a rate of ten (10) shrubs per tree. One-third (1/3) of the required trees

shall be evergreen trees with a minimum height at maturity of six (6) feet to provide year-round visual screening.

vi. ~~Screening Requirements When Adjacent to Public Streets or Rights-of-Way~~

Travel trailer and RV parks shall provide a minimum six-foot one hundred (100) percent opaque fence or decorative screening wall or landscaped earthen berms, or combination thereof, along the perimeter of the park adjacent to any public street or right-of-way. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a one hundred (100) percent opaque fence or decorative screening wall. Any request to construct a decorative screening wall in excess of four (4) feet in height shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district. A one hundred (100) percent opaque fence shall not be the single method of screening used to screen manufactured and/or mobile home parks from an adjacent public street or right-of-way. One hundred (100) percent opaque fences used for screening shall be a maximum of six (6) feet in height and shall incorporate breaks of masonry columns, and/or shrubs or small evergreen trees with a maximum height at maturity of six (6) feet in height. Landscape plantings used in combination with screening fences shall not count toward satisfying any other landscaping requirement.

K. Irrigation and Maintenance

i. Irrigation Plan Required

An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.

ii. Maintenance Required

~~Commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park.~~ Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health ~~unless otherwise approved as a xeriscaping alternative.~~ Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

K. Obstructions Prohibited

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

PASSED AND APPROVED ON FIRST READING this ~~11th day of May~~22nd day of June, 2026.

PASSED AND APPROVED ON SECOND READING this _____ day of _____, 2026.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this _____ day of _____, 2026.

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

Published: _____

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

Devon Litzsinger, City Clerk

DRAFT

ORDINANCE NO. 1070

AN ORDINANCE AMENDING SECTION 16.5.5 OF THE DOUGLAS MUNICIPAL CODE
PERTAINING TO LANDSCAPING, BUFFERING, AND SCREENING

WHEREAS, the City of Douglas (City) Council finds and determines that the following changes and clarifications need to be made in regard to the City of Douglas Municipal Code; and

WHEREAS, consideration has been given to ensure fairness to all City of Douglas residents and make new regulations reasonable.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF DOUGLAS, WYOMING:

Section 1. Title 16.5.5 of the Douglas Municipal Code is hereby repealed and amended to read as follows:

5.5 Landscaping, Buffering, and Screening

5.5.1 General

A. Intent

This Section is intended to provide uniform standards for the installation and maintenance of landscaping, buffering, and screening. Application of these standards during the site development planning process shall be based upon the following:

- The use of water-wise landscaping practices that promote efficient water use and water conservation;
- The provision of adequate visual screening between differing or incompatible uses;
- Promoting higher quality developments in terms of design and visual relief;
- Discourage the spread of noxious weeds and invasive plant species;
- Promoting the development of healthy, hardy and regionally appropriate landscapes that are low maintenance and sustainable in the local environment; and
- Enhancing the visual character of development by planning for inclusion of natural surface treatments in a manner that is consistent with the goals, principles, and policies of the City of Douglas Master Plan.

B. Definitions

Turfgrass: Turfgrass means various grasses (such as Kentucky bluegrass or turf-type tall fescue) grown to form turf and which (generally) can be produced in sod form.

Water-Wise Landscape: Focused on a sustainable design and management practice that conserves water in outdoor environments. Emphasizes the use of native, drought-tolerant plants, efficient irrigation (like drip systems), and soil optimization to minimize the need for supplemental watering.

Xeriscape Landscape: Focuses on a landscaping method developed for arid and semiarid climates that utilizes water-conserving techniques (such as the use of drought-tolerant plants, mulch, and efficient irrigation).

Zero-scape Landscape: Focuses on low-water, low-maintenance landscaping style consisting of dirt, mulch, or gravel with essentially zero plants. Leans towards barren, rock-heavy yards with minimal or no planting.

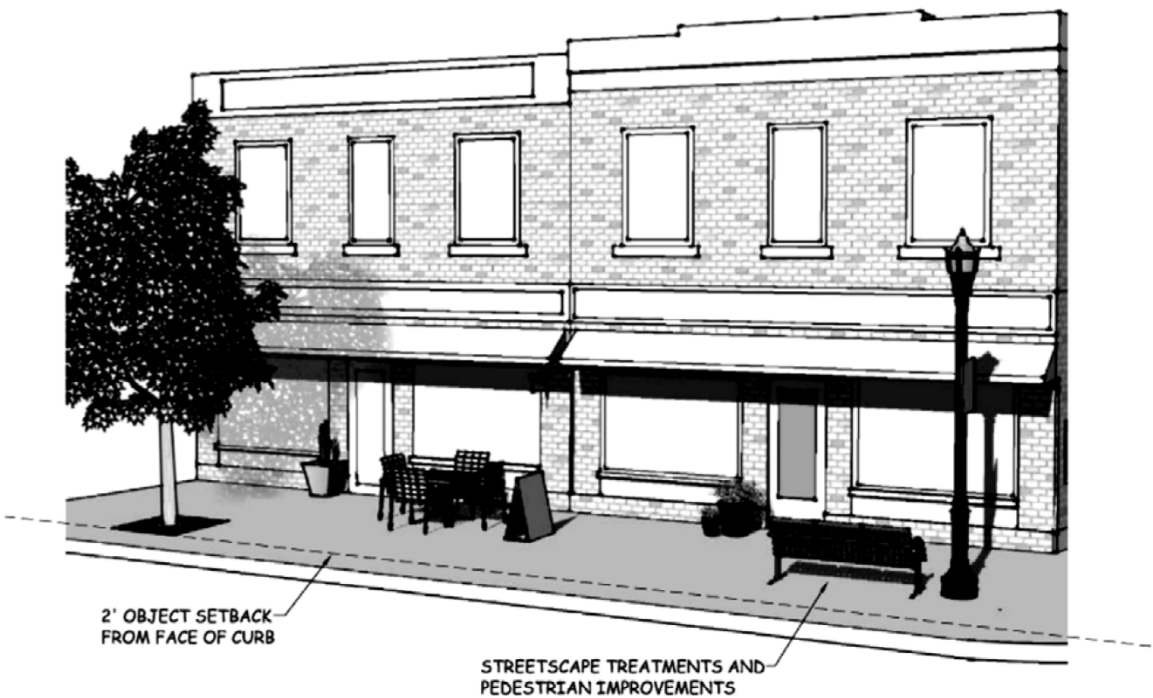
C. Applicability

The landscaping requirements of this section shall apply to any new construction or development and to any substantial alteration, expansion, or change in use of an existing building requiring the approval of a development plan pursuant to the requirements of Chapter 3 of this Code. Any Type A, B, or B-LSR Development Plan that includes a plan to change the use of a building or structure from a residential use to a non-residential use shall include a landscaping plan that complies with the requirements of this section. Section 5.5.3.J, Irrigation and Maintenance, shall apply to all commercial, industrial, multi-family, manufactured and/or mobile home park, and travel trailer and RV park landscaping. Additional landscaping standards are required for specific uses pursuant to Chapter 6 of this Code.

D. Exceptions/Exemptions

Development within the CB-1 (Downtown Business) zoning district and the Douglas Downtown Historic District is exempt from the standard landscaping requirements in this Section, but shall comply with the landscape requirements for the Downtown Douglas Historic District, the downtown area design guidelines, and Downtown Revitalization Plan, 2015, as amended. A plan for landscaping treatments shall be provided with a Type A, Type B, and Type B-LSR Development Plan for developments within the CB-1 (Downtown Business) zoning district. The plan for landscaping treatments shall provide for a combination of two (2) or more of the following treatments and pedestrian improvements: outdoor tree boxes, vegetative planting boxes, hanging potted planters, wall planters, outdoor seating and/or dining areas, street furniture, and outdoor art approved by the Community Development Director or City Council, as applicable (see Figure 5.5-1 below for an example of acceptable landscaping treatments).

Figure 5.5-1: Example of acceptable landscaping treatments and streetscape within the CB-1 (Downtown Business) Zoning District



E. Landscape Materials

i. Authorized Landscaping Materials

All plant materials proposed in the landscaping plan of a Type A, B, or B-LSR Development Plan for multifamily, industrial, or commercial developments shall be specified according to the American Standard for Nursery Stock.

ii. Combination of Plant Materials and Landscape Treatments

Landscape plans shall provide a mix of shrubs, trees, green space and/or acceptable water-wise landscaping along with non-living material such as mulch, gravel, boulders, or decorative elements.

The required landscape area shall consist of a minimum of twenty-five (25%) percent living plant material based on mature size of vegetation per Table 5.5-1. The foliage crown of deciduous trees may be used in the 25% living material calculation.

iii. Zero-scape

Zero-scape may be used in place of required landscaping provided trees are included to reduce the “heat-island” effect.

iv. Minimizing Turfgrass

To the extent possible, irrigated water-wise turfgrass shall be minimized and limited only functional areas and not used for strictly ornamental purposes.

v. Traditional Spray Irrigation

Traditional sprinkler systems shall be limited to non-native turfgrass and the native grasses and adapted species described in this code. All other irrigation systems shall be drip or micro spray systems.

vi. Minimizing Synthetic Turf

To the extent possible, synthetic turf shall be minimized and shall include a minimum of one tree to reduce “heat-island” effect.

Exception: Synthetic turf used for recreational purposes such as ballfields.

vii. Outdoor Amenities

Development within character districts or where a zero building setback line exists may propose the use of outdoor amenities, including, but not limited to, outdoor dining and/or seating areas, public art, and/or street furniture, and may be substituted for internal landscape requirements.

F. Completion of Required Landscaping for New Development

i. Completed Prior to Certificate of Occupancy

Required landscaping shall be completed prior to issuance of a final certificate of occupancy.

Exception: Single-family and duplex/twin-home developments may be issued a temporary certificate of occupancy and given one (1) year to install landscaping per this code with no landscape completion agreement required.

ii. Landscape Completion Agreement

A temporary certificate of occupancy may be issued after approval of a landscape completion agreement for Type A, Type B, or Type B-LSR Developments. The landscape completion agreement shall include the time necessary to complete the required landscaping on the approved Type A, Type B, or Type B-LSR Development Plan, a detailed cost estimate prepared by a licensed landscaping contractor or landscaping professional with itemized material and installation costs necessary to complete the approved landscaping, and financial assurance. Financial assurance for the completion of landscaping shall be in the form acceptable by the City Attorney and shall be in the amount identified on the cost estimate approved by the City and shall be for use by the City to install the required landscaping in the event the developer fails to meet the terms of the agreement. The Community Development Director shall have the authority to review and approve all landscape completion agreements and associated financial assurance estimates and may accept financial assurance securing performance of a landscape completion agreement.

5.5.2 Alternate Landscape Plan

An applicant proposing to develop within the City of Douglas may choose to develop an alternate landscape plan in lieu of providing a landscaping plan that directly complies with the requirements of this Chapter. The Community Development Director, in reviewing an alternate landscape plan for a Residential, Commercial, or Type A Development Plan, and the City Council, in reviewing an alternate landscape plan for a Type B or B-LSR Development Plan, shall find that the plan is consistent with the intent of this Section and with the policies and recommendations of the City of Douglas Master Plan. The Community Development Director and City Council shall consider the following in reviewing an alternate landscape plan:

- Whether the benefit to the community and natural environment of the proposed plan will be equivalent to the benefit that would have been provided with strict adherence to the requirements of this Section;
- Whether the plan meets or exceeds the buffering and screening requirements of this Section;
- Whether the plan is consistent with the intent of the applicable Character District guidelines in the City of Douglas Master Plan;
- Whether the plan considers water-wise landscape practices; and
- Whether the plan demonstrates innovative design and use of landscape materials and/or other natural landscaping elements.

5.5.3 Landscape Requirements

A. Internal Landscaping

Commercial, industrial, and multi-family residential developments shall provide a minimum combination of shrubs, trees, green space and/or acceptable water-wise landscape treatments in the form of internal landscaping on the subject property pursuant to the requirements of Table 5.5-1 below unless otherwise approved in an Alternate Landscape Plan. Internal landscaping requirements and the requirements for street trees, buffering, and screening shall be included in the percentage of site required to be landscaped. All remaining open soil areas of the site that have been disturbed by construction that are not water-wise landscaped, xeriscaped, or zero-scaped shall be restored to the original native condition (or similar via adapted non-invasive species) to prevent erosion and to limit the growth of non-native or noxious weeds.

Table 5.5-1 Internal Landscaping Calculations

Development Type	Property Size	Percentage of Site Required to be Landscaped	Percentage of Landscaped Area Required to be Living Plant Material	Number of Internal Trees Required
Single-Family Residential	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i).
	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Two (2) trees encouraged.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 16.5.5.3(H)(i). Three (3) trees encouraged.
Multi-Family Residential, Manufactured and Mobile Home Parks,	0 — 19,999 square feet	Ten percent (10%)	Twenty-five percent (25%) of the 10% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.

and Travel Trailer and RV Parks	20,000 square feet — one (1) acre	Eight percent (8%)	Twenty-five percent (25%) of the 8% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
	Over one (1) acre	Six percent (6%)	Twenty-five percent (25%) of the 6% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Commercial	No minimum or maximum	Fifteen percent (15%)	Twenty-five percent (25%) of the 15% of site required to be landscaped.	One (1) per 1,000 square feet of required internal landscaping.
Large Scale Business and/or Commercial by Type B-LSR Development Plan	No minimum or maximum	No % requirement.	Twenty-five percent (25%)	One (1) per 1,000 square feet of required internal landscaping.
Industrial	No minimum or maximum	No % requirement.	No % requirement.	No internal trees required. Place trees adjacent to streets and/or between use types.

- i. Exceptions to Internal Landscaping Requirements
 - a. Developments with approved Alternate Landscape Plans.
 - b. Manufactured and mobile home parks and travel trailer and RV parks shall be subject to the specific internal landscape requirements in Subsection 5.5.3.I below. Single-family residential lots shall only be required to comply with the landscaping requirements in Subsection 5.5.3.H.i. below.

B. Street Trees/Roadway Landscaping

Landscape plans required as a component of Type A, B, or B-LSR Development Plans shall include the placement of street trees meeting the requirements of this Section.

- i. Type A Development Exception

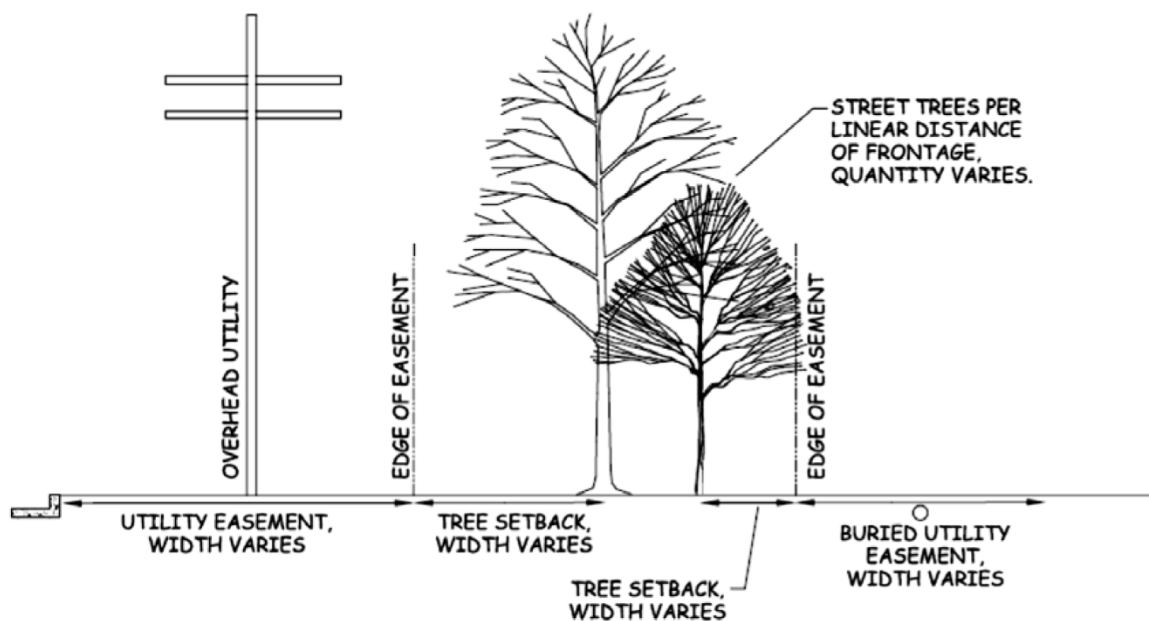
Type A Developments shall not be required to include the placement of street trees as part of the landscape plans.
- ii. Street Tree Spacing and Setbacks

Small, medium, and large street trees shall meet spacing and setback requirements from easements, public improvements, and other street trees as detailed below in Table 5.5-2 (see also Figure 5.5-2 below for an example of street tree setbacks).

Table 5.5-2 Street Tree Requirements

Street Tree Setbacks		Quantity and Spacing Between Street Trees	
Curb at intersections	35 feet	Small Tree	1 per 30 feet
Street lights	20 feet	Medium Tree	1 per 40 feet
Overhead utilities	10 feet	Large Tree	1 per 50 feet
Attached sidewalks	7 feet		
Below-ground utilities	5 feet		
Alleys, driveways, and fire plugs	10 feet		

Figure 5.5-2: Example of street tree setbacks.



iii. Approved Street Tree Species

The use of any tree species not identified in Table 5.5-3 below shall require prior approval of the Community Development Director in consultation with the City of Douglas Public Works and Utilities Department. Specific justification shall be provided by the applicant to receive approval to plant any tree that is not compatible with the United States Department of Agriculture (USDA) plant hardiness zone 4, including 4a and 4b, or the equivalent as approved by the Parks and Recreation Director.

Table 5.5-3 Authorized Street Tree Species

Common Name	Botanical Name	Minimum Caliper Size/Height
Small Trees (also suitable for planting under or near overhead utilities)		
Rocky Mountain Maple	Acer glabrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Norway Maple	Acer platanoides	
Shangtung Maple	Acer truncatum	
Apple Serviceberry	Amelanchier x grandiflora	
Eastern Redbud	Cercis canadensis	
Cornelian Cherry	Cornus mas	
Russian Hawthorn	Crataegus ambigua	
Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	
Amur Maackia	Maackia amurensis	
Prairie Rose Crabapple (fruitless)	Malus ioensis	
China Snow Lilac	Syringa pekinensis	
Summer Charm Lilac	Syringa pekinensis	
Japanese Tree Lilac	Syringa reticulata	
Summer Sprite Linden	Tilia cordata	
Medium Trees		
Trident Maple	Acer buergeranum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper
Hedge Maple	Acer campestre	
Miyabe Maple	Acer miyabei	
Red Maple	Acer rubrum	
Pacific Sunset Maple	Acer truncatum	
Ohio Buckeye	Aesculus glabra	

Common Alder	Alnus glutiosa	NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
European Hornbeam	Carpinus betulus	
Ginkgo	Ginkgo biloba	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Amur Corktree	Phellodendron amurense	
Wavyleaf Oak	Quercus undulata	
Japanese Pagodatree; Scholar tree	Styphnolobium japonicum	
Shamrock, Chancellor, or Corinthian Linden	Tilia cordata	
Prospector Elm	Ulmus wilsoniana	
Large Trees		
Black Maple	Acer nigrum	<u>Broadleaf Trees</u> • All residential except multi-family residential = 1.5" caliper • Multi-Family Residential = 2" caliper • Business/Commercial and Industrial = 2.5" caliper NOTE: Tree caliper shall be measured at six (6) inches above the tree's natural ground line for trees less than four (4) feet in height or at twelve (12) inches for trees greater than four (4) feet in height. <u>Conifer Trees</u> • Shall be a minimum of five (5) feet in height at the time of planting for all uses.
Sycamore Maple	Acer pseudoplatanus	
Sugar Maple	Acer saccharum	
Yellow Buckeye	Aesculus flava	
Common Horsechestnut	Aesculus hippocastanum	
Pignut Hickory	Carya glabra	
Shagbark Hickory	Carya ovata	
Northern Catalpa	Catalpa speciosa	
Katsuratree	Cercidiphyllum japonicum	
Thornless Honeylocust	Gleditsia triacanthos inermis	
Kentucky Coffeetree	Gymnocladus dioicus	
Tulip Tree	Liriodendron tulipifera	
American Sycamore	Platanus occidentalis	
Swamp White Oak	Quercus bicolor	
Shingle Oak	Quercus imbricaria	
Pin Oak	Quercus palustris	
Chestnut Oak	Quercus prinus	
English Oak	Quercus robur	
MacDaniel's Oak	Quercus x macdanielli	
Ware's Oak	Quercus x warei	
Littleleaf Linden	Tilia cordata	
Silver Linden	Tilia tomentosa	
American Elm	Ulmus americana	

iv. Restricted Species

The following tree species shall be prohibited from use as street trees:

- Boxelders (Acer negundo)
- Siberian elms (Ulmus pumila)
- Any of the poplar (Populus) species including cottonwoods, poplars, and aspens
- Any willow (Salix) species
- Any weeping and pendulous trees
- Any multi-stemmed trees
- Ash (Fraxinus) species
- Walnut (Juglans) species

- Silver maple (*Acer saccharinum*),
- Freeman maple (*Acer x freemannii*)
- Sunburst honeylocust (*Gleditsia triacanthos inermis* 'Sunburst')
- Bradford pear (*Pyrus calleryana* 'Bradford')
- Mulberry (*Morus*) species
- Russian-olive (*Elaeagnus angustifolia*)
- Tree-of-heaven (*Ailanthus altissima*).

C. General Buffering and Screening Requirements

Landscape buffers are intended to provide a visually attractive separation and transition between differing and/or incompatible uses. All Type A, B, and B-LSR Development Plans shall incorporate landscape buffering meeting the requirements of this Section except where adjacent to a similar lot.

Additional buffering requirements may also be required for certain land uses pursuant to the requirements of Chapter 6 of this Code. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may impose additional project-specific landscape setbacks and/or buffering and screening requirements in order to mitigate any abnormal or exceptional adverse impacts.

i. Clustering of Trees

Trees required for visual screening are encouraged to be clustered in areas subject to increased visual impacts in order to achieve maximum effectiveness. The Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan, may require clustering to increase the effectiveness of screening in visually sensitive areas.

ii. Parking Lot Buffering and Screening

a. Buffering from Rights-of-Way

Parking lots shall be buffered from adjacent public rights-of-way with a combination of plantings and landscaped berms. Any landscaping treatments installed for the purpose of screening a parking lot shall be at least three (3) feet in height at full maturity.

b. Adjacent to Residential Uses

Any commercial or industrial site adjacent to a residential use or across right-of-way from a residential use shall be required to screen all parking lots and loading docks with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fences or decorative walls.

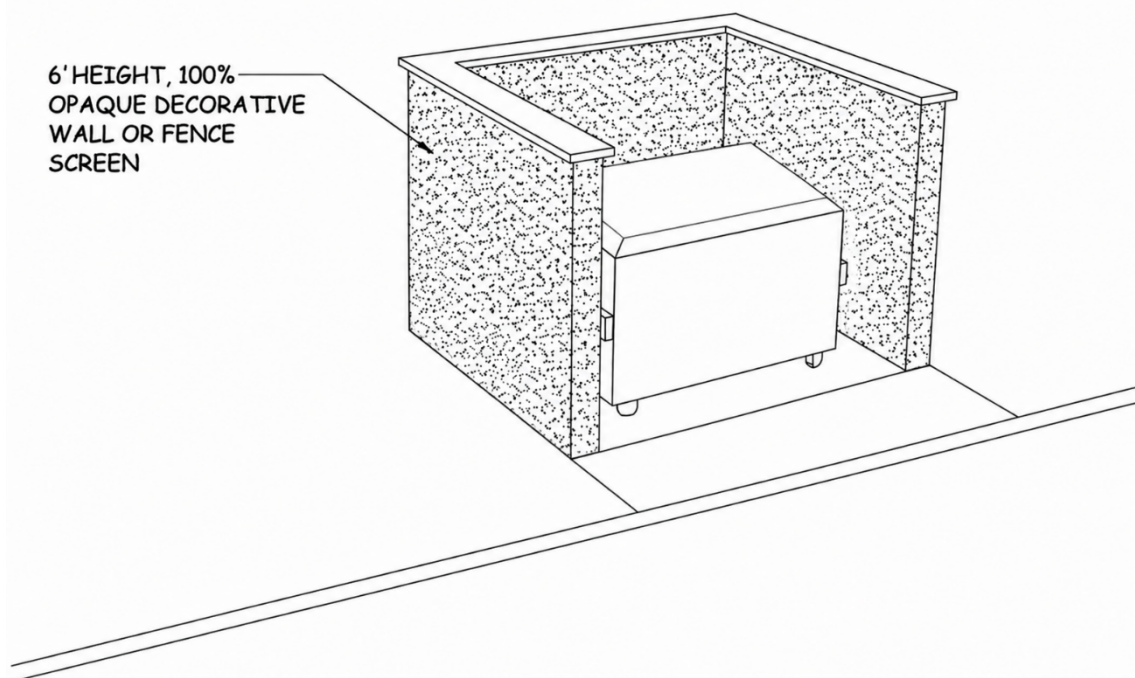
D. Refuse Storage Screening

Refuse storage containers (e.g., dumpsters) serving all non-residential and multi-family residential uses shall be screened from the view of the general public and adjacent properties (see Figure 5.5-3 below for an example of refuse storage screening).

i. Refuse Containers

Refuse container enclosures shall be surrounded on three (3) sides by a one hundred (100%) percent opaque fence or decorative wall and shall be located on the left hand side of the service access drive aisle. Fences and decorative walls used to screen refuse storage containers shall be a minimum of six (6) feet in height. All decorative screening walls exceeding 20 feet in length or six (6) feet in height that are used to screen refuse storage containers shall be designed and certified by a registered engineer in the State of Wyoming.

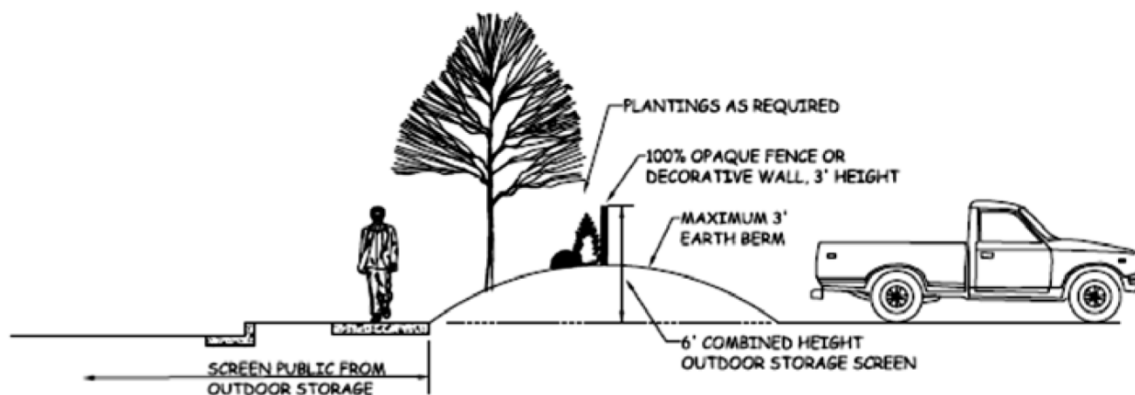
Figure 5.5-3: Example of refuse storage screening.



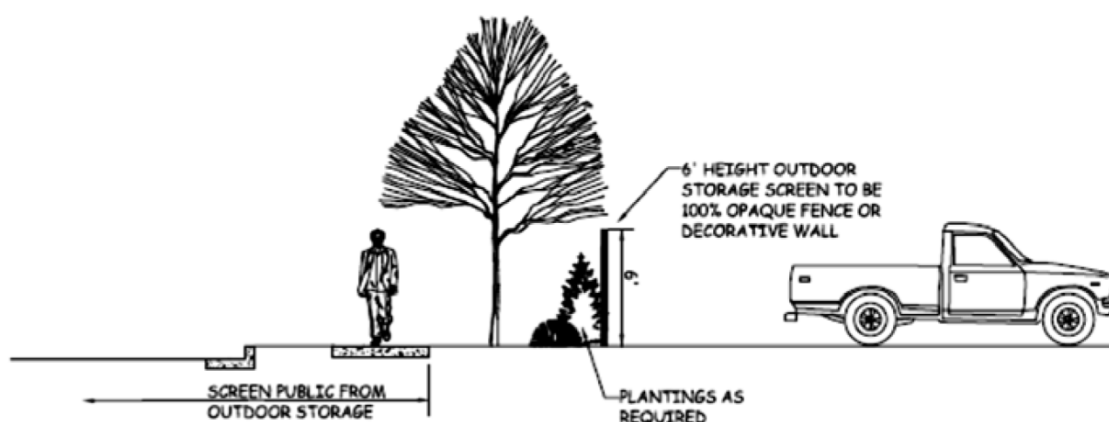
E. Outdoor Storage Screening (Commercial and Industrial)

Outdoor storage accessory to any non-residential or multi-family residential use shall be screened from the view of the public and adjacent properties with a combination of plantings, landscaped berms, and/or one hundred (100%) percent opaque fence or decorative wall. Fences and decorative walls used to screen outdoor storage shall be a minimum of six (6) feet in height. Any request to construct a decorative screening wall to screen outdoor storage shall be designed and certified by a registered engineer in the State of Wyoming. The height of an opaque fence or decorative screening wall may be reduced by one (1) foot for every one (1) foot of earthen berm constructed immediately below the fence or wall up to a maximum reduction of the fence or wall height resulting in a three (3) foot fence or decorative screening wall on top of a three (3) foot earthen berm.

Figure 5.5-4: Examples of outside storage screening.



**OUTDOOR STORAGE SCREENING
WITH EARTH BERM**



**OUTDOOR STORAGE SCREENING
WITHOUT EARTH BERM**

F. Commercial Buffering and Screening Requirements

All commercial buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

G. Industrial Buffering and Screening Requirements

All industrial buildings, offices, parking, outdoor storage, and refuse containers shall be screened from adjacent non-industrial zone districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

i. Industrial Screening Fences, Walls, & Combinations

Screening fences or walls shall be at least six (6) feet in height. When using a combination of berms and fences or walls, the minimum height of landscaped earthen berms or decorative screening walls, or combination thereof, shall be six (6) feet. Under no circumstances shall an earthen berm exceed three (3) feet in height when combined with a decorative screening wall. Any request to construct a decorative screening wall in excess of six (6) feet in height or twenty (20) feet in length shall require design and certification by a registered engineer in the State of Wyoming. Any decorative screening wall in excess of six (6) feet in height shall comply with the principal structure setbacks of the respective zoning district.

H. Residential Landscaping Requirements

i. Single-Family Residential Landscaping Requirements

With the exception of driveways, sidewalks and permitted parking areas, residential yards shall be used for the planting and growing of trees, shrubs, gardens, and other water-wise ground covering or landscaping material approved by the City.

Vegetation that provides food such as vegetable gardens and fruit-bearing trees are highly encouraged. Each single-family residential site plan shall provide for the planting of a minimum of one (1) tree. No other landscaping requirements shall apply to single-family residential uses.

ii. Multi-Family Residential Buffering Requirements

All multi-family residential buildings, parking lots, outdoor storage areas, and refuse containers shall be screened from adjacent single-family residential zoning districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

I. Manufactured and Mobile Home Parks / Travel Trailer and RV Parks

All manufactured and mobile home parks, including individual manufactured and mobile home units, parking areas, outdoor recreation areas, community buildings, leasing offices and outside storage areas, refuse containers, and maintenance facilities shall be screened from adjacent residential and non-residential zone districts. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

All travel trailer and RV parks, including individual units, parking areas, outdoor recreation areas, community buildings, leasing offices, refuse containers, and maintenance facilities, shall be screened from adjacent residential and non-residential zone districts with a combination of plantings, landscaped berms, and decorative walls.

The City Council, in approving a Type B Development Plan, may require increased landscape buffers and screening between the proposed Park and adjacent uses or zoning districts.

i. Landscaping Plan Required

All manufactured and/or mobile home park development plans shall include a landscaping plan for the entire plan area.

ii. Compliance with General Landscape Requirements of this Section

Manufactured and mobile home parks shall comply with the general landscape requirements of this Chapter.

iii. Internal Landscape Requirements

A minimum of ten (10%) percent of the gross site area shall be reserved for a park and recreational area. A minimum of one (1) tree shall be planted within the park and recreation area for every six hundred (600) square feet of the total park and recreation area.

iv. Required Landscape Buffer

Manufactured and/or mobile home parks or travel trailer and RV parks abutting a residential, commercial, or industrial zoning district shall provide a landscape buffer. Buffering may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the

Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

- v. Screening Requirements When Adjacent to Public Streets or Rights-of-Way
Manufactured and/or mobile home parks or travel trailer and RV parks shall be buffered from adjacent public rights-of-way. Screening may include a combination of plantings, landscaped earthen berms, a one hundred (100%) percent opaque fences and decorative walls, artistic/cultural features, and/or another type of screening as approved by the Community Development Director, in approving a Type A Development Plan, and the City Council, in approving a Type B or B-LSR Development Plan.

J. Irrigation and Maintenance

- i. Irrigation Plan Required
An irrigation plan shall be submitted with all landscape plans in support of a Type B or Type B-LSR Development Plan. The irrigation plan shall include irrigation guidelines and/or system specifications to ensure the proper installation, growth, and maintenance of all plant materials identified on the landscape plan.
- ii. Maintenance Required
Landscaping shall be regularly maintained, watered, trimmed and cared for at the expense of the property owner. All landscaping must be living and in good health. Dead or unhealthy vegetation must be replaced at the owner's expense within sixty (60) days. Landscaping not replaced within sixty (60) days of the date of a determination of non-compliance shall be subject to the enforcement provisions of Chapter 9 of this Code.

K. Obstructions Prohibited

Trees, shrubs, or other landscaping treatments that are installed, planted, or otherwise located in the front or side yard of a lot or parcel shall not create any of the following obstructions:

- The view of vehicular traffic within the sight line triangle at any street or alley intersection;
- The view of pedestrian or vehicular traffic within a fifteen (15) foot sight line triangle at any existing or proposed driveway; or
- Access to any fire hydrant or which encroaches within a three (3) foot radius of any existing or approved fire hydrant location.

PASSED AND APPROVED ON FIRST READING this 22nd day of June, 2026.

PASSED AND APPROVED ON SECOND READING this _____ day of _____, 2026.

PASSED, APPROVED AND ADOPTED ON THIRD AND FINAL READING this _____ day of _____, 2026.

Kim Pexton, Mayor

Attest:

Devon Litzsinger, City Clerk

*Published:*_____

ATTESTATION

I, Devon Litzsinger, the Clerk of the City of Douglas, Wyoming, do hereby attest and state that the above ordinance was published/posted in the manner required by law and that all procedures required by Wyoming State law were complied with.

Devon Litzsinger, City Clerk

DRAFT

Ordinance 1070: Incentivize versus Penalize

Goal: To encourage attractive, sustainable landscaping rather than create another enforcement burden.

Process: Shift the code from a compliance model to a performance- and incentive-based model. The ordinance already moves in that direction by encouraging water-wise landscaping and allowing alternate landscape plans, but it still relies heavily on minimum standards and enforcement.

Options

1. Replace minimum landscape percentages with performance standards.

Instead of requiring: *"Ten percent of the site shall be landscaped..."*

Consider: *Landscaping should contribute to the visual quality of the property through a combination of trees, shrubs, native vegetation, gardens, decorative landscape materials, or other approved water-wise treatments. Property owners are encouraged to exceed the minimum standards through creative and sustainable landscape design.*

This allows:

- native plant gardens
- pollinator habitat
- decorative rock with trees
- edible gardens
- rain gardens
- public art

instead of simply meeting a square-foot requirement.

2. Create landscaping incentives instead of additional mandates.

Add a new section: **5.5.X Landscape Incentive Program.** Examples of Municipal Incentive Programs include:

Water Conservation (Turf Replacement/Xeriscaping)

These programs encourage homeowners and businesses to replace high-water-use lawns with drought-tolerant landscaping.

- a. **Las Vegas, Nevada** – Cash rebates per square foot for removing ornamental turf and installing water-efficient landscapes. One of the most successful programs in the U.S., saving billions of gallons of water annually.
- b. **Aurora, Colorado** – Lawn Replacement Program provides rebates for converting Kentucky bluegrass to xeriscape.
- c. **Fort Collins, Colorado** – "Garden In A Box" program offers pre-designed, water-wise garden kits at a discount.

- d. **Albuquerque, New Mexico** – Xeriscape rebates for converting turf and installing efficient irrigation.
- e. **Salt Lake City, Utah** – "Localscapes" incentive program helps residents create landscapes that use significantly less water while supporting local ecology.
- f. **Scottsdale, Arizona** – Rebates for grass removal and smart irrigation technology.

Tree Planting Programs

Designed to increase urban canopy and reduce heat.

- a. **Sacramento, California** – Free shade tree program for residents.
- b. **Denver, Colorado** – Discounted or free trees through neighborhood forestry initiatives.
- c. **Louisville, Kentucky** – Community tree rebate and planting partnerships.
- d. **Arbor Day Foundation partnerships** with many cities provide discounted tree sales and planting assistance.

Pollinator & Native Landscaping Programs

Encourage habitat restoration and biodiversity.

- a. **Apple Valley, Minnesota** – Native landscaping grants.
- b. **Madison, Wisconsin** – Pollinator habitat incentives and educational resources.
- c. **Bloomington, Indiana** – Native plant rebate pilot programs.
- d. Many cities also certify **Pollinator-Friendly Yards** with recognition signs.

Beautification Matching Grants

Support neighborhood improvements and curb appeal.

- a. **Fort Collins, Colorado** – Neighborhood Mini-Grants for landscaping and beautification.
- b. **Oklahoma City, Oklahoma** – Neighborhood Alliance matching grants for landscape improvements.
- c. **Lincoln, Nebraska** – Community Improvement Grants for neighborhood landscaping.
- d. **Various Main Street programs** offer façade and streetscape landscaping assistance to downtown businesses.

Common Incentive Structures

INCENTIVE	TYPICAL AMOUNT
Turf replacement rebate	\$1–\$5 per sq. ft.
Native plant rebate	\$100–\$500
Rain garden reimbursement	50–100% of project cost
Free tree program	1–5 trees per household
Smart irrigation controller rebate	\$50–\$200
Landscape design assistance	Free consultation or discounted plans
Demonstration garden workshops	Free classes and plant kits

Incentive Ideas for Douglas

Given Douglas's semi-arid climate and interest in community improvement, a landscape incentive program could include:

- a. **Water-Wise Yard Grant** – Up to \$500 for replacing turf with drought-tolerant landscaping.
- b. **Douglas Native Plant Rebate** – Reimbursement for Wyoming native plants purchased locally.
- c. **Tree for Every Home** – One free shade tree with planting guidance.
- d. **Business Beautification Grant** – Matching funds for commercial landscaping and planters.
- e. **Pollinator Patch Program** – Small grants and recognition signs for pollinator gardens.
- f. **Neighborhood Beautification Challenge** – Annual awards for the best landscape improvements.
- g. **Landscape Design Assistance** – Free consultations with a local landscape professional or extension office.
- h. **Demonstration Gardens** – Showcase water-wise landscapes at parks or City facilities to inspire residents.

A successful municipal landscape incentive program usually combines **financial incentives, education, demonstration projects, and public recognition**, making it easier for residents to adopt sustainable landscaping practices while improving the overall appearance of the community.

The goal is to encourage voluntary investment versus punitive action.

3. Offer "Landscape Credits."

Rather than requiring more landscaping, allow credits for improvements. The code already allows alternate plans. Expanding this concept gives designers flexibility. Examples:

IMPROVEMENT	CREDIT
Preserve mature trees	Landscape credit
Plant native species	Credit
Install drip irrigation	Credit
Pollinator garden	Credit
Public seating	Credit
Public art	Credit
Stormwater rain garden	Credit

Credits could result in a reduction in building permit and/or plan review fees.

4. Revise the maintenance section.

Current language is fairly punitive: *Dead vegetation must be replaced within sixty days or enforcement action begins.*

Instead: *Property owners are encouraged to maintain healthy landscaping consistent with the approved landscape plan. Where landscaping has significantly deteriorated, the City shall first work collaboratively with the property owner to establish a reasonable replacement schedule before pursuing enforcement, except where public safety or nuisance conditions exist.*

This keeps enforcement available while emphasizing collaboration between the citizens and the City.

5. Expand the "Alternate Landscape Plan"

Currently, the alternate plan must provide equivalent benefit.

You could broaden it: *Alternative landscape plans that demonstrate superior environmental performance, reduced water consumption, preservation of existing vegetation, innovative design, wildlife habitat, or enhanced community aesthetics are strongly encouraged and shall receive favorable consideration.*

6. Encourage voluntary beautification.

Add language such as: *The City encourages property owners to improve landscaping over time as part of routine property maintenance. Incremental improvements, including additional trees, native plantings, seasonal flowers, decorative hardscape, and other aesthetic enhancements, contribute to neighborhood character and community pride.*

7. Establish a Beautification Recognition Program.

Rather than penalizing poor landscaping, reward exceptional landscaping. The City could authorize/fund a program with:

- Annual Douglas Beautification Awards.
- Certified Water-Wise Landscape designation.
- Business Landscape of the Year.
- Neighborhood Pride recognition.
- Featured properties on the City's website and social media.

Recognition often motivates improvements more effectively than citations.

8. Focus enforcement only on true nuisances.

Instead of regulating appearance, reserve enforcement for situations that create health or safety concerns.

For example: *This section is intended to promote attractive, sustainable landscapes and shall not be interpreted to require ornamental landscaping where a property is otherwise maintained in a safe, orderly, and weed-free condition.*

Overall Recommendation

The amended ordinance already has a strong foundation emphasizing water conservation, flexibility, and sustainable design. Emphasizing four themes throughout the code could achieve the desired goal to incentivize versus penalize:

- **Flexibility**—allow multiple ways to meet landscaping goals.
- **Recognition**—reward exemplary properties.
- **Collaboration**—work with owners before enforcement.
- **Performance**—focus on healthy, attractive, water-wise landscapes rather than rigid percentage requirements.

This approach encourages investment in landscaping while reducing the perception that the City is attempting to police aesthetics.