



CITY OF **DOUGLAS** WYOMING

REGULAR PLANNING COMMISSION MEETING

August 17, 2026 – 5:30 PM

Planning and Zoning Commission meetings are recorded and broadcast live on cable channel 9.

The Planning and Zoning Commission is an advisory body to the city council. Items appearing on this agenda will be considered by the city council on August 24, 2026. All applicants are strongly encouraged to attend both meetings.

- I. Call to Order
- II. Pledge of Allegiance
- III. Roll Call
- IV. Approval of the Agenda
- V. Approval of the Minutes
 - A. **Planning & Zoning Commission Minutes: July 20, 2026**
- VI. Planning and Zoning Matters
 - A. **CUP2026-0004: Application Kelsi Gilmore to the City of Douglas for a conditional use permit to operate a day care in an R-1 Neighborhood Residential Zone at 1430 Meadow Lane (Stone River Meadows, Lot 10).**
 - B. **DEV2026-0004: Application by Marc Andreen for a Type B Development to build a warehouse and office in an I Industrial Zone at 180 Elkhorn Way (Elkhorn Subdivision, Lot 4).**
 - C. **DEV2026-0005: Application by Jensen Davenport Architects - Sokhour Seng for a Type B Development to build a restaurant and sports bar in a B-2 General Business Zone at 5 Cinch Loop (7 Trails Commercial South, Lot 4).**
- VII. Code Considerations
 - A. **ORD 1070 Landscape Code (Water Conservation)**

VIII. Staff Report – City Council Action on Forwarded Items

- A. **CUP2026-0003: Application by McKenzie Burgener for approval of a conditional use permit to operate a pre-school in an R-1 Neighborhood Residential Zone at 999 Eagle Drive (Meadowlark Trails, Lot 8).**

IX. Adjournment

Monday, August 17, 2026

Call to Order at:

Meeting Adjourned at:

Planning Commission Regular Minutes
July 20, 2026

I. Call to Order

Chairman Hancock called the Douglas Planning and Zoning Commission to order at 5:30 p.m.

II. Pledge of Allegiance

Chairman Hancock led the assembly in the Pledge of Allegiance.

III. Roll Call

Roll call was taken with the following Commissioners present: Dave Patterson, Scott Bauman, Robin Velasquez, Jay Hancock, Carl Kusters. Also present were Clara Chaffin, Community Development Director, and Heidi McCullough, Planner I.

IV. Approval of the Agenda

Commissioner Carl Kusters moved to approve the agenda. Seconded by Commissioner Scott Bauman. Motion 5-0.

V. Approval of the Minutes

Commissioner Dave Patterson moved to approve the minutes of the June 15, 2026 Planning & Zoning Commission meeting. Seconded by Commissioner Robin Velasquez. Motion 5-0.

A. **Minutes:** Planning & Zoning Commission June 15, 2026.

VI. Planning and Zoning Matters

A. **CUP2026-0003: Application by McKenzie Burgener for approval of a conditional use permit to operate a pre-school in an R-1 Neighborhood Residential Zone at 999 Eagle Drive (Meadowlark Trails, Lot 8).**

Chairman Hancock opened the public hearing at 5:31 p.m. Director Chaffin reviewed the location, zoning data, surrounding land uses, and compliance with the Douglas Blueprint. Staff recommendation was for approval. The applicant, McKenzie Burgener, and property owner, Reed Burgener, were on hand to answer any questions. There was one public comment, Lorraine Norris a neighbor at 1054 Big Horn Drive, discussed concerns about noise. Chairman Hancock closed the public hearing at 5:36 p.m. Commissioner Carl Kusters moved to recommend approval with staff recommendations. Seconded by Commissioner Scott Bauman. Motion 5-0.

VII. Code Considerations

Director Chaffin discussed the Landscape Code that is being discussed by the City Council.

VIII. Discussion Items

A. Resolution: Safe Streets For All

Aubrey Thomas from Ayres Associates Inc. led a discussion on a proposed resolution for the City of Douglas to commit to a Vision Zero Goal regarding deaths and serious injuries. This commitment is a requirement for the Safe Streets for All Grant.

IX. Staff Report – City Council Action on Forwarded Items

Planner I McCullough reported that the City Council voted to approve this matter with Planning and Zoning Commission recommendations.

X. Adjournment

Commissioner Carl Kusters moved to adjourn. Seconded by Commissioner Dave Patterson. Motion 5-0.

ATTEST:

Heidi McCullough, Secretary

Jay Hancock, Chairman

Conditional Use Permit

STAFF REPORT

1430 Meadow Ln, Douglas, Wyoming, 82633

In-home childcare

CASE NUMBER: CUP2026-0004

PREPARED BY: Heidi McCullough

MEETING DATES: Planning Commission: 8/17/2026, City Council: 8/24/2026

REQUEST: In-home childcare

RECOMMENDATION: The Community Development Department recommends approval of the conditional use permit to operate a day care at 1430 Meadow Lane in an R-2 Mixed Density Residential Zoning District with the following staff recommendations:

1. The conditional use permit to operate a day care facility is specific to Kelsi Gilmore. If this applicant, in the future, ceases operation or moves the facility to another location, the Conditional Use Permit will be null and void for the subject property.
2. The applicant shall adhere to the required State regulations pertaining to a daycare/ pre-school facility.

APPLICANT: Kelsi Gilmore

1430 Meadow Lane Douglas WY 82633

PROPERTY OWNER: Payten Gilmore

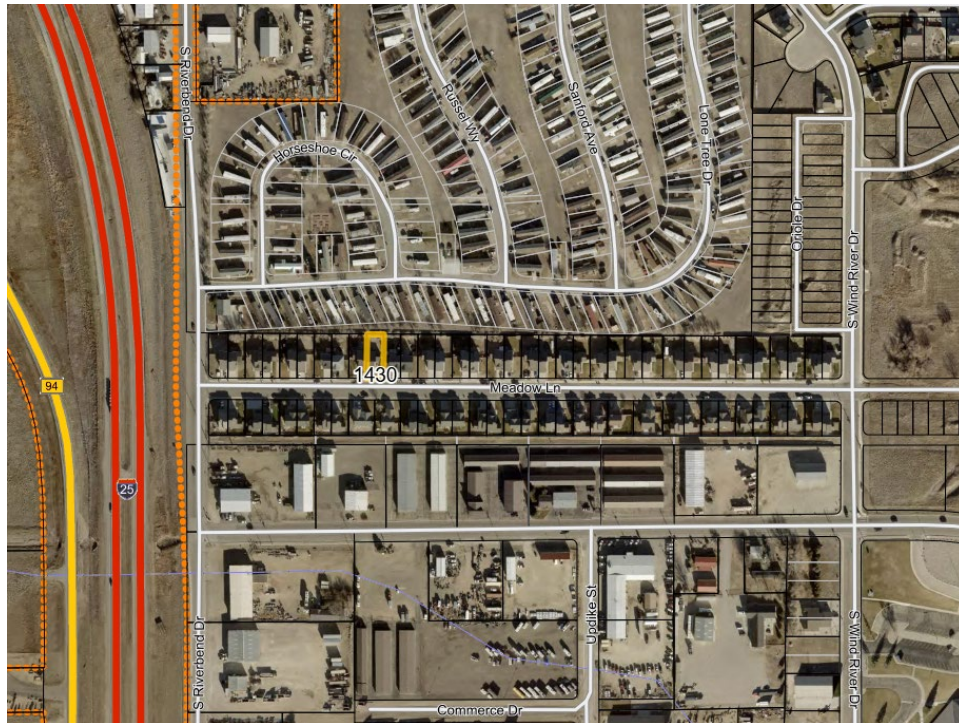
1430 MEADOW LN DOUGLAS, WY 82633

LEGAL DESCRIPTION: STONE RIVER MEADOWS, LOT 10

CURRENT ZONE: R-1 Neighborhood Residential

PROPOSED ZONE: *NA

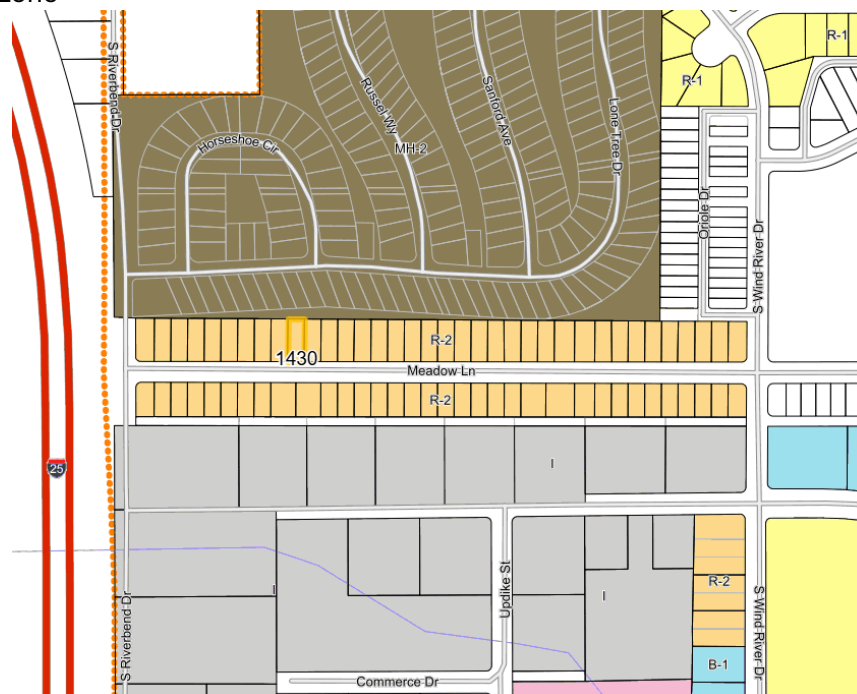
VICINITY MAP:



LOCATION: The subject property is located in the middle of the block on the north side of Meadow Lane between Riverbend Drive and South Wind River Drive.

LOT SIZE: 0.13 Acres

ZONING: R-2 Zone



ZONING DATA: The property is currently zoned R-2 Medium Density Residential District. This district *“is intended to provide for the development of single-family and duplex or townhouse dwellings.”* Per the Douglas Municipal Code, daycares are permitted as a Conditional Use in an R-2 Medium Density Residential Zone.

Council approval of a conditional use permit for this type of use is a requirement of the Unified Land Development Code, due to its possible impact on neighboring properties.

EXISTING LAND USE: Residence

PROPOSED USE: Residence with a day care.

SURROUNDING LAND USE:

North:	Mobile Home Park
South:	Residential
East:	Residential
West:	Residential

ZONING

MH-2
R-2
R-2
R-2

ANNEXATION STATUS

City
City
City
City

SPECIFICS OF THE PROPOSED USE: The applicant’s stated hours of operation, parking, and number of employees will be provided by the applicant at the meeting.

HISTORY: This property was annexed to the City in 1980, as a portion of the Venture West Annexation. It was replatted later in 1980 as a part of Meadow Acres, and then replatted again in 2008 as a portion of Stone River Meadows, and there have been no changes since that time. According to the Converse County Assessor's office, the structure on this property was built in 2011.

2026 COMMUNITY BLUEPRINT: The property is designated as part of the West Central Subarea of the West Yellowstone District. The primary vision for this area *is Mixed-density residential development with evolving neighborhood characteristics. Support high-quality neighborhood development with infill and revitalization opportunities.*

The request conforms with the goals and priorities of the Community Blueprint.

FY2026 STRATEGIC DOING: Conditional Use Permits are not referenced in the FY2026 Strategic Doing as a Key Performance Indicator (KPI).



STAFF RECOMMENDATION: The Community Development Department recommends approval of the conditional use permit to operate a day care at 1430 Meadow Lane in an R-2 Mixed Density Residential Zoning District with the following staff recommendations:

1. The conditional use permit to operate a day care facility is specific to Kelsi Gilmore. If this applicant, in the future, ceases operation or moves the facility to another location, the Conditional Use Permit will be null and void for the subject property.
2. The applicant shall adhere to the required State regulations pertaining to a daycare/pre-school facility.

Development Type B Application

STAFF REPORT

180 Elkhorn Way, Douglas, Wyoming, 82633

Twin Peaks Warehouse/Office

CASE NUMBER: DEV2026-0004

PREPARED BY: Heidi McCullough

MEETING DATES: Planning Commission: 8/17/2026, City Council: 8/24/2026

REQUEST: Twin Peaks Warehouse/Office

RECOMMENDATION: The Community Development Department recommends approval of the Type B Development to construct the proposed warehouse and office.

APPLICANT: Marc Andreen

1 Green Drive Douglas WY 82633

PROPERTY OWNER: G & M Properties LLC

1 Green Drive Douglas WY 82633

LEGAL DESCRIPTION: ELKHORN, LOT 4:

CURRENT ZONE: GRN

PROPOSED ZONE: *NA

VICINITY MAP:



LOCATION: The subject property is located on the west side of Elkhorn Way south of Center Street

LOT SIZE: 1.27 Acres

ZONING: I Industrial Zone



PROPOSED PROJECT DETAILS:

Lot Size	1.27 Acres
Building Size	4280 Sq Ft
North Set Back	23 Ft
South Set Back	135 Ft
East Set Back	23 Ft
West Set Back	15 Ft
Building Height	28 Ft 6.5 In to top of peak
Parking	Total parking spaces: 9 ADA spaces: 1
Landscaping	Total % of landscaping: 14.5% Total Square Footage of Landscaping: 8,071
Drainage	Grading and Drainage plan provided.
Lighting Plan	Lighting plan provided.
Elevations	Elevations provided.
Floodplain	The proposed development is not in the floodplain.

ADDITIONAL INFRASTRUCTURE REQUIRED: All City and private infrastructure required.

REVIEWING AGENCIES AND COMMENTS:**City Engineer:**

All comments responded to and corrected.

Public Works:

All comments responded to and corrected.

Police Department:

Comments noted.

Fire Department:

Comments noted.

Utility Billing:

Comments noted.

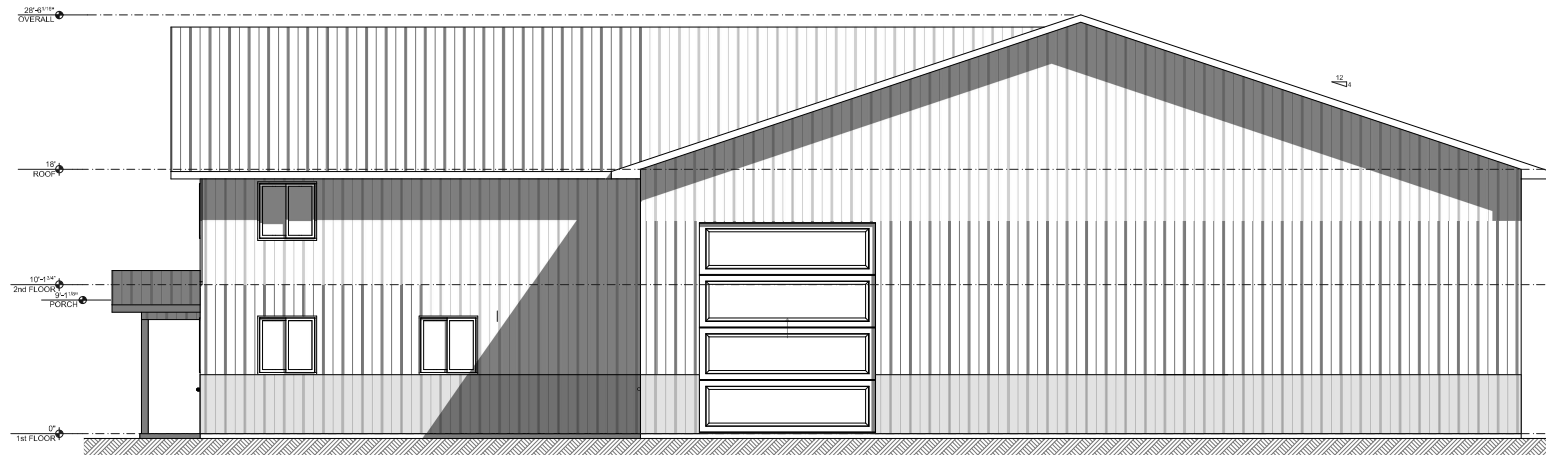
Public Comments:

No comments.

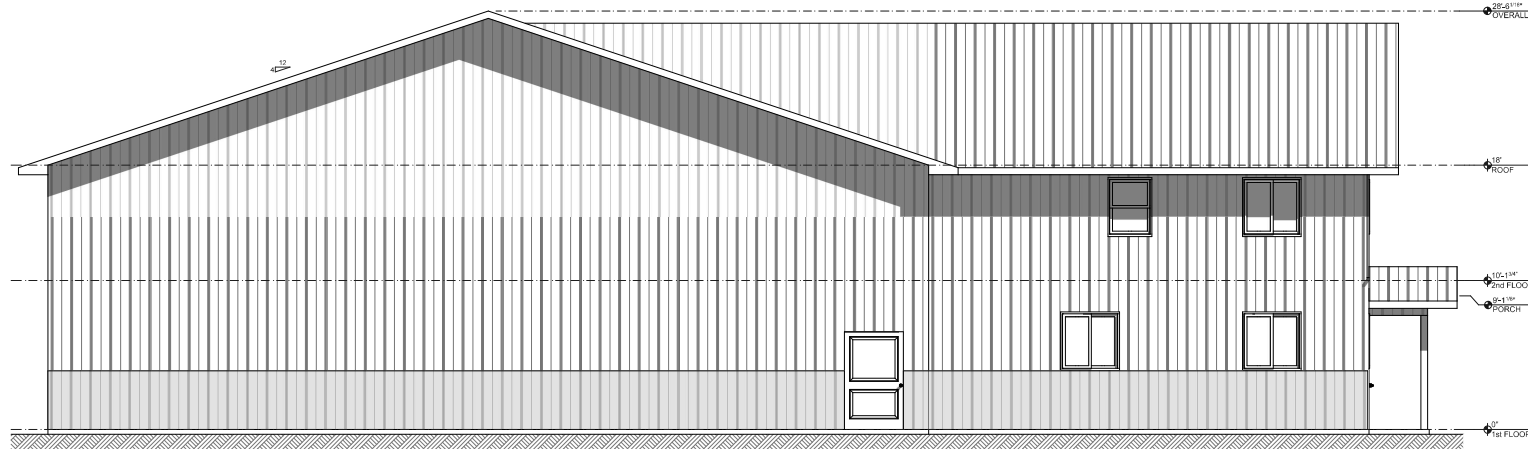
Plans were sent to the State Fire Marshall, the Wyoming Department of Transportation, Black Hills Energy, CenturyLink, Rocky Mountain Power, Vyve, and Visionary. Any comments received were noted and responded to as appropriate.

STAFF RECOMMENDATION: The Community Development Department recommends approval of the Type B Development to construct the proposed warehouse and office.

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1 ENDWALL ELEVATION
SCALE: 1/4\"/>



2 ENDWALL ELEVATION
SCALE: 1/4\"/>

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CONTACT:
Adam King
(970) 484-1608
adam@kingengineer.com

CLIENT:
Western Building Supply

POST-FRAME BUILDING
60'x104'x18' SHOP + 30'x55' OFFICE

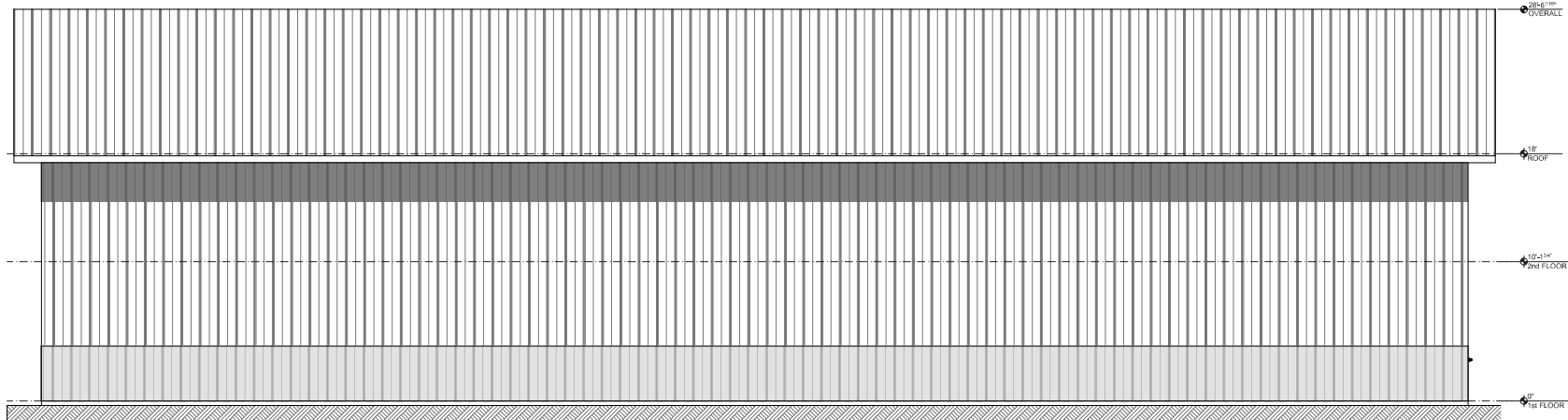
Customer: Andrew
180 Elkhorn Way, Bldg 2
Douglas, WY 82633

DATE	DESCRIPTION
PROJECT NO:	2930
DATE:	5/5/2026
DRAWN BY:	ark

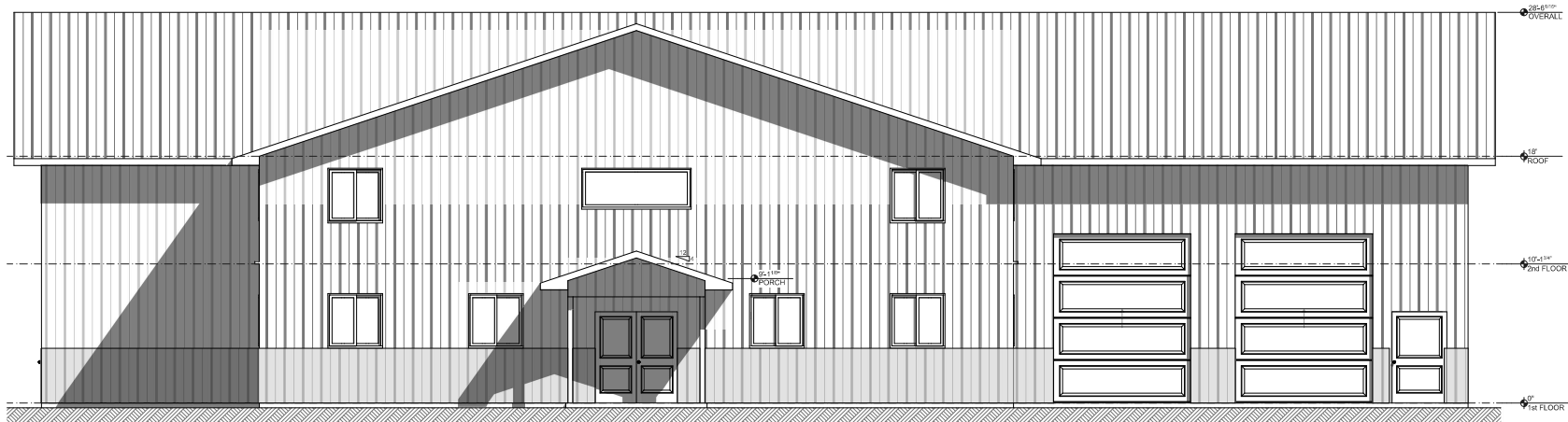
SHEET TITLE
ELEVATIONS

A1.0
SHEET 1 of 7

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3 SIDEWALL ELEVATION
SCALE: 1/4" = 1'-0"



4 SIDEWALL ELEVATION
SCALE: 1/4" = 1'-0"

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ENGINEERING
& DESIGN
www.kingengineer.com

CONTACT:
Adam King
(970) 484-1608
adam@kingengineer.com

CLIENT:
Western Building Supply

POST-FRAME BUILDING
60'x104'x18' SHOP + 30'x55' OFFICE

Customer: Andreen
180 Elkhorn Way, Bldg 2
Douglas, WY 82633

DATE	DESCRIPTION
PROJECT NO:	2930
DATE:	5/5/2026
DRAWN BY:	ark

SHEET TITLE
ELEVATIONS

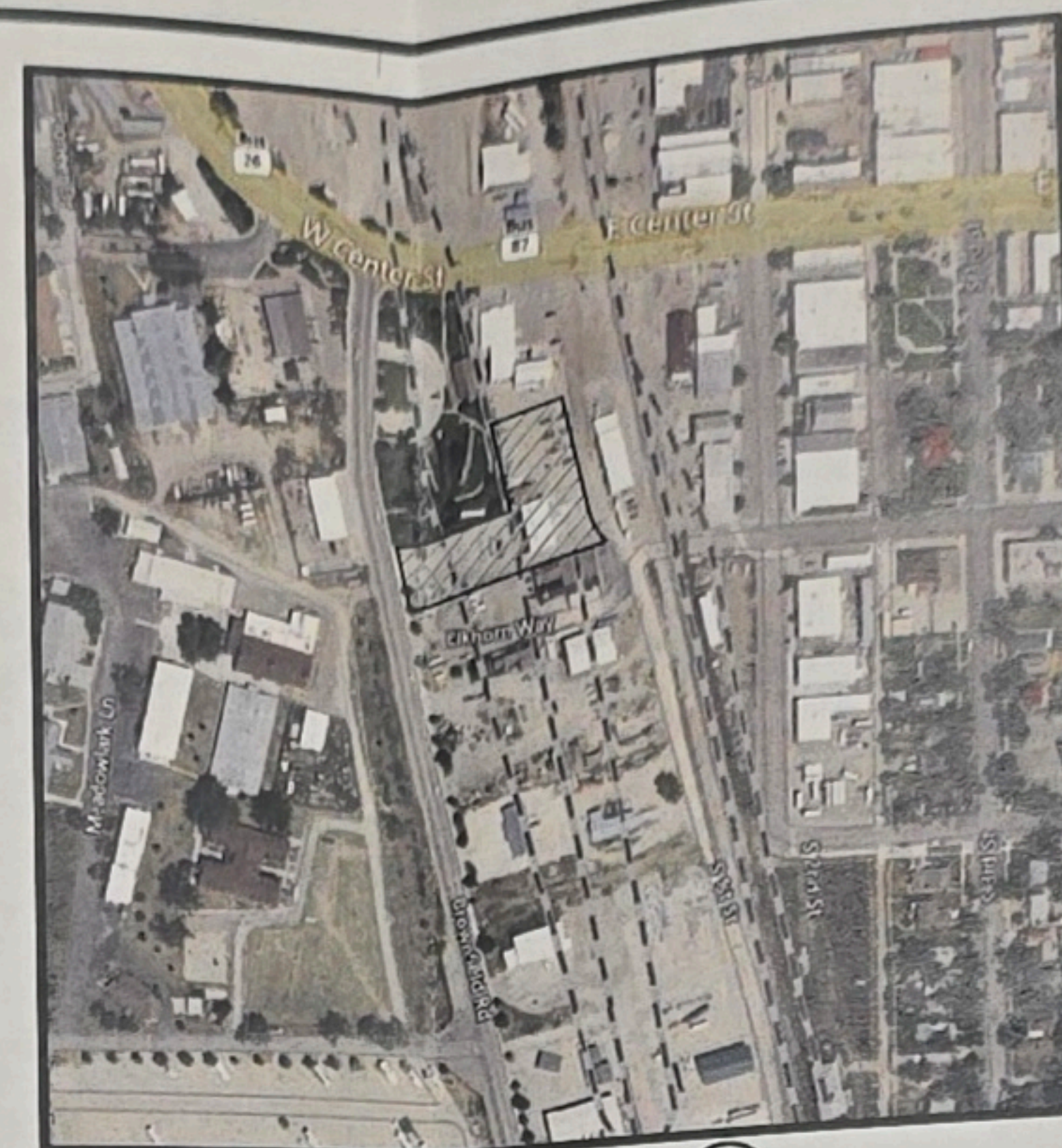
A1.1
SHEET 2 of 7

180 ELKHORN WAY SITE PLAN

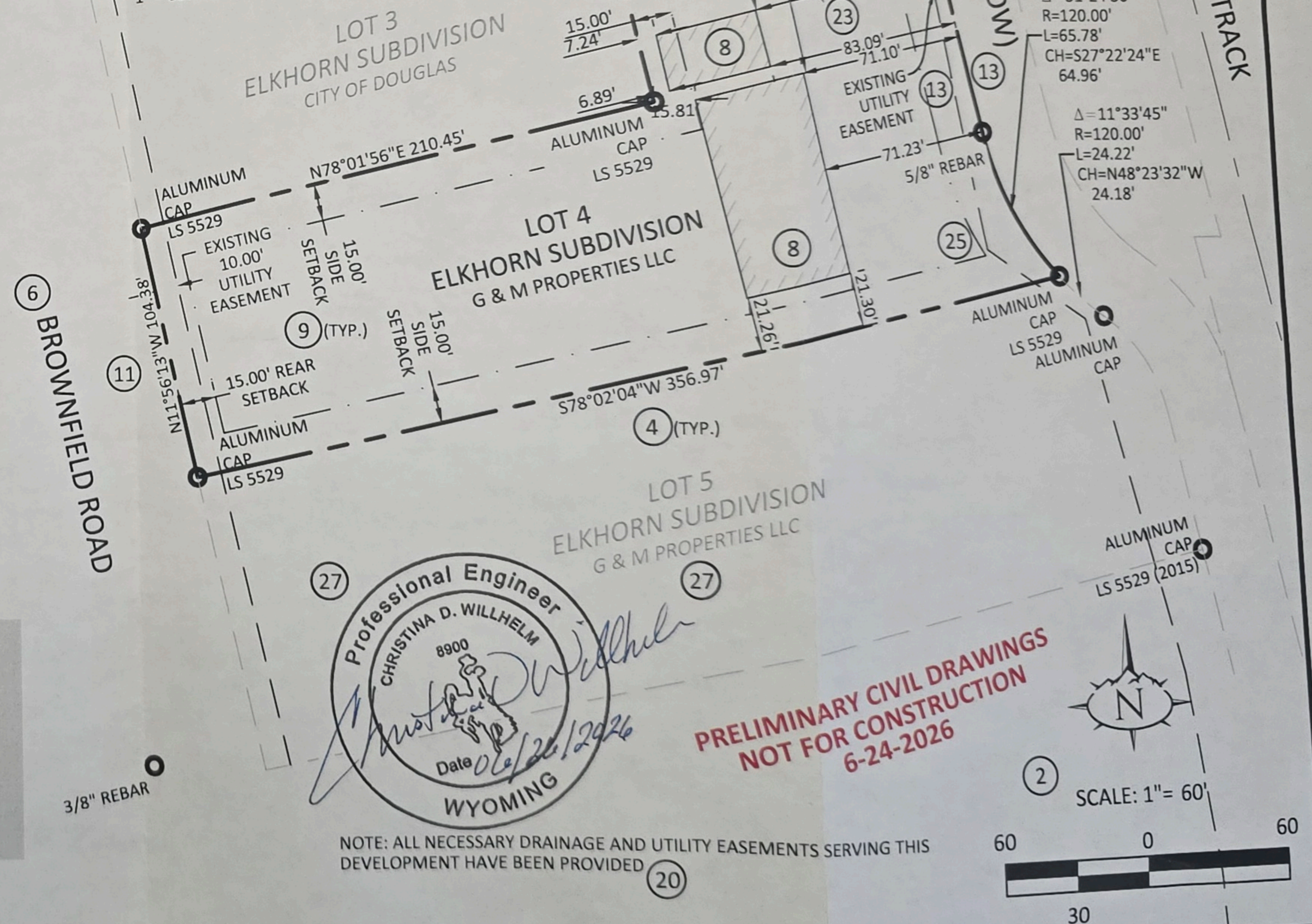
Type B Development - Site Plan Checklist

- Title block stating names of project, designer, and address and telephone number of designer.
- North arrow, scale of site plan (1"=10' or a multiple thereof), and the date the site plan was prepared.
- Vicinity map at a scale of 1"=600' clearly indicating the location of the land in question, with respect to a large recognizable area.
- Land area dimensions.
- Verification of physical location of property corner pins or survey and setting of property corners by licensed surveyor.
- Names and widths of all adjacent streets; dimensions and location of all public and private roadways or driveways, both paved and unpaved, including all rights-of-way, pavement width, and proposed uses of rights-of-way.
- Proposed use of all areas, including areas to be used for borrow pits or where there will be any change to the natural topography. (Marc Andreen to provide use)
- Location of all existing and proposed structures and their uses. (Marc Andreen to provide use)
- Dimensions of all setbacks and heights of all proposed buildings.
- Location of all areas designated for parking, loading, solid waste container storage, landscaping, outside storage, open space, on-site vehicular drive aisles and circulation, and on-site pedestrian sidewalks and pathways. (See Sheet C102)
- Location and dimensions of all existing and proposed ingress and egress points, including access points for emergency vehicles and personnel, to the site and the location of any physical barriers restricting ingress and egress.
- Location and dimensions of all proposed off-street parking spaces and loading dock areas, including street access and traffic flow, to these areas. (See Sheet C102)
- Street, alley, sewer, and waterline specifications.
- Plan for underground utilities. (N/A)
- Dimensions and locations of all advertising signs and fences. (N/A)
- Location of existing and proposed exterior lighting, heights of poles, and size and number of fixtures per and street lights. (Existing light poles will not change. Additional lights will be mounted on the new structure)
- Identification of floodplains and flood zones. (Zone X per FEMA FIRM Panel 1394D, Map No. 56009C1394D, Effective November 4, 2009)
- Location of all planned and natural drainage ways. (See Sheet C102)
- Surface drainage plan for sites at 10,000 sq. ft. or more. (N/A)
- Notation stating that "All necessary drainage and utility easements serving this development have been provided".
- Proposed location of hazardous material storage. (N/A)
- Landscaping plan as required: (N/A)
 - Scale of 1"=10'
 - Property lines and dimensions
 - Structures
 - Irrigation systems
 - Use of existing natural features
 - Plans and seed mix for areas of reseeding
 - Erosion control plan
 - Grading plan
- Types of ground or yard surfacing throughout: grass, paving, gravel, etc.
- Any screening or screening devices used to minimize or eliminate areas which tend to be unsightly. (N/A)
- Snow removal and storage.
- Traffic study for large scale retail. (N/A)
- All Type B developments plans must be stamped by a Wyoming engineer and a Wyoming architect.
- General notes to include a summary table on the site plan:

28	a.	1.3 AC (56628 SF)
	b.	4280 SF
	c.	7867 SF
	d.	21.45%
	e.	N/A
	f.	Story 1=7867 SF, Story 2=1650 SF
	g.	N/A
	h.	N/A
	i.	N/A
	j.	N/A
	k.	N/A



VICINITY MAP
1" = 600'



SCALE	HORZ 1"=60'	VERT	REVISIONS
DRN. DMH	BK:	JOB NO. 25762-CE	
CHK. KAM	PAGE:	DATE: 6/24/2026	



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MARC ANDREEN, (307)-358-1133
1 GREEN DR, DOUGLAS, WY 82633

180 ELKHORN WAY SITE PLAN
DOUGLAS, WY 82633

SHEET
C101

Any use, reuse, or CADD adaptation of this drawing other than for the specific purpose intended, by anyone, without written authorization from the engineer, will be at the Client's risk and full legal responsibility. DO NOT SCALE DRAWING

Development Type B Application

STAFF REPORT

5 Cinch Loop Douglas, Converse County, Wyoming, USA

The Hound Restaurant and Sports Bar

CASE NUMBER: DEV2026-0005

PREPARED BY: Heidi McCullough

MEETING DATES: Planning Commission: 8/17/2026, City Council: 8/24/2026

REQUEST: The Hound Restaurant and Sports Bar

RECOMMENDATION: The Community Development Department recommends approval of the Type B Development to construct the proposed restaurant and sports bar.

APPLICANT: Jensen Davenport Architects - Sokhour Seng
14421 Woodinville-Redmond RD NE Woodinville WA 98072

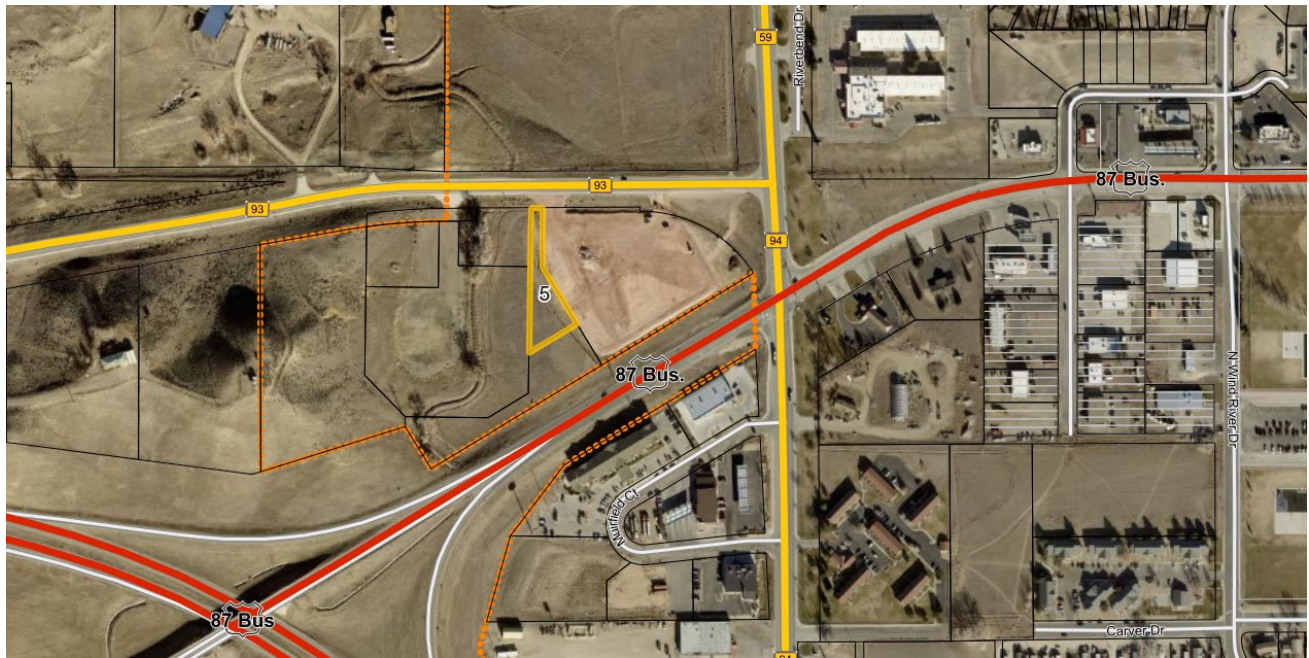
PROPERTY OWNER: Wagonhound Land & Livestock Company, LLC - William Avery
1061 Poison Lake Road, P.O. Box 1100 Douglas WY 82633

LEGAL DESCRIPTION: Lot 4 of the Final Plat of 7 Trails Commercial South, to the City of Douglas, Wyoming, according to the official plat thereof filed for record February 14, 2025 in Plat Cabinet 5, Slide 16 of the records of Converse County, Wyoming

CURRENT ZONE: B-2 General Business

PROPOSED ZONE: *NA

VICINITY MAP:



LOCATION: The subject property is located on the south side of Cinch Loop between State Highway 93 and Interstate 25.

LOT SIZE: 0.643 Acres

ZONING: B-2 General Business Zone



ZONING DATA: The property is currently zoned B-2 General Business Zoning District. This district *“is intended to provide for commercial uses that create a use intensity transition between residential neighborhoods and light industrial uses.”* A restaurant and sports bar is an allowed use in a B-2 General Business Zone.

EXISTING LAND USE: Vacant Land

PROPOSED USE: Restaurant and Sports Bar

SURROUNDING LAND USE:		ZONING	ANNEXATION STATUS
North:	Vacant	B-2	City
South:	Commercial	B-2	City
East:	Commercial	B-1/B-2	City
West:	Commercial	B-2	City

HISTORY: The subject property was originally dedicated to the City of Douglas as part of the Seven Trails Commerce Center 2015. In 2024, Parcel 7 was created when Parcel 4 was divided into two (2) parcels. In 2025 it was replatted as part of 7 Trails Commercial South, and has remained the same since that time.

2026 DOUGLAS BLUEPRINT: The property is designated as part of the West Yellowstone Corridor Subarea of the West Yellowstone District. The primary land use vision for this area is: *“a mix of hospitality, business, and commercial uses.”*

The request conforms to the the Goals and Priorities of this district to *“Support hotel and retail development growth.”*

DEVELOPMENT STANDARDS: This Development Plan conforms to the minimum Standards and Policies described in City Code.

STRATEGIC DOING FY2526: There are no Key Progress Indicators in the 26/27 Strategic Doing that mention new restaurant development.



PROPOSED PROJECT DETAILS:

Lot Size	0.643 Acres
Building Size	7,344 Sq Ft
North Set Back	21Ft 5 In
South Set Back	23 Ft
East Set Back	7 Ft 8 In
West Set Back	7 Ft 6 In
Building Height	35' 2" to top of wall
Parking	Shared Parking Agreement Total parking spaces: 27 ADA spaces: 2
Landscaping	Total % of landscaping: 40% (20% required) Total Square Footage of Landscaping: 7,709
Drainage	Grading and Drainage will be submitted with construction documents.
Lighting Plan	Lighting plan provided.
Elevations	Elevations provided.
Floodplain	The proposed development is not in the floodplain.

ADDITIONAL INFRASTRUCTURE REQUIRED: All City and private infrastructure required.

REVIEWING AGENCIES AND COMMENTS:**City Engineer:**

All comments responded to and corrected.

Public Works:

All comments responded to and corrected.

Police Department:

Comments noted.

Fire Department:

Comments noted.

Utility Billing:

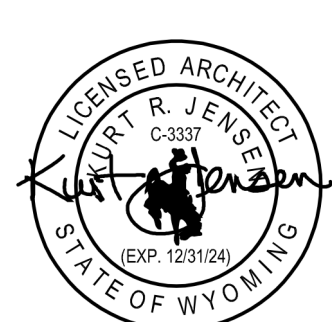
Comments noted.

Public Comments:

No comments.

Plans were sent to the State Fire Marshall, the Wyoming Department of Transportation, Black Hills Energy, CenturyLink, Rocky Mountain Power, Vyve, and Visionary. Any comments received were noted and responded to as appropriate.

STAFF RECOMMENDATION: The Community Development Department recommends approval of the Type B Development to construct the proposed restaurant and sports bar.



ISSUED SETS
7.15.2026 TYPE B DEVELOPMENT PERMIT

REVISIONS		
REV#	DATE	DESCRIPTION
1	08.07.2026	TYPE B DEVELOPMENT PERMIT RESUBMITTAL

DRAWN: SS
CHECKED: SS
JOB NO: 2603



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DESIGN DEVELOPMENT

THE HOUND
5 CINCH LOOP, DOUGLAS, WY

SITE PLAN

SHEET:

A101

SITE & BUILDING DATA

ZONING:
LOT AREA:
PERCENTAGE OF SITE COVERED BY STRUCTURE:
SF OF PARKING AREA:
PERCENT OF SITE COVERED BY PARKING:
SF OF ALL LANDSCAPING AREA:
PERCENT OF SITE COVERED BY LANDSCAPING:
FRONT SETBACK:
REAR SETBACK:
INTERIOR SIDE SETBACK:
PROPOSED HEIGHT:
NO. OF STORIES:

B-2 (GENERAL BUSINESS)
28,009.1 SF (0.643 ACRES)
N/A
N/A
SEE LANDSCAPE
20 FEET
7.5 FEET
35'-2"
ONE (1) STORY

BUILDING AREA:
BUILDING AREA:
OUTDOOR PATIO:
TOTAL AREA:

7,430 SF
3,224 SF
10,654 SF

PARKING PROVIDED:
STANDARD STALL (10'X20'):
ACCESSIBLE STALL:
TOTAL PARKING:

27
2
29

PARKING REQUIRED:
TOTAL ACCESSIBLE PARKING STALL REQUIRED PER IBC 1106.2 = 2

VICINITY MAP:

LIGHTING NOTE:
1 EXISTING PARKING LOT AREA LIGHT
BRONZE FINISH, POLE TO MATCH
136W LED, 4000K, 15512LM, TYPE 4 DIST
25 FT TALL, SSS POLE W/ BASE COVER
ON 30" TALL CONCRETE BASE

SITE PLAN CHECKLIST

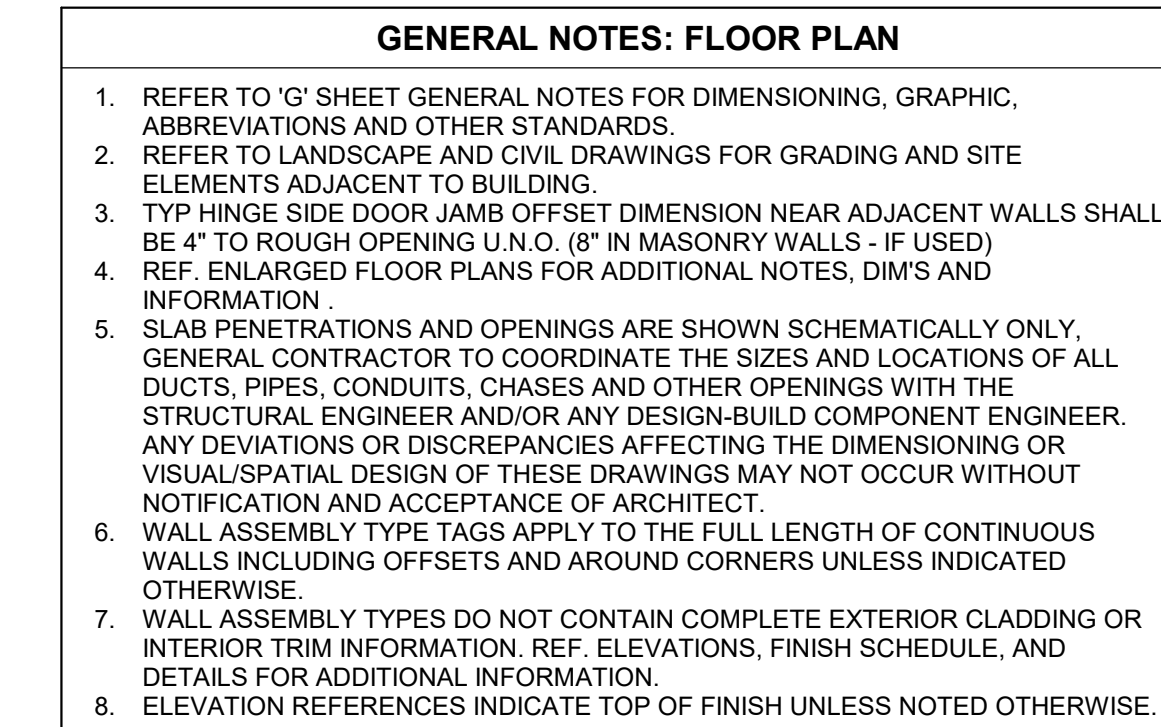
- TITLE BLOCK STATING NAMES OF PROJECT, DESIGNER, AND ADDRESS AND TELEPHONE NUMBER OF DESIGNER
- NORTH ARROW, SCALE OF SITE PLAN (1" = 10' OR A MULTIPLE THEREOF), AND THE DATE THE SITE PLAN WAS PREPARED
- VICINITY MAP AT A SCALE OF 1" = 600' CLEARLY INDICATING THE LOCATION OF THE LAND IN QUESTION, WITH RESPECT TO A LARGE RECOGNIZABLE AREA
- LAND AREA DIMENSIONS - SEE CIVIL DWGS
- VERIFICATION OF PHYSICAL LOCATION OF PROPERTY CORNER PINS OR SURVEY AND SETTING OF PROPERTY CORNERS BY LICENSED SURVEYOR - SEE CIVIL DWGS
- NAMES AND WIDTHS OF ALL ADJACENT STREETS; DIMENSIONS AND LOCATION OF ALL PUBLIC AND PRIVATE ROADWAYS OR DRIVEWAYS, BOTH PAVED AND UNPAVED, INCLUDING ALL RIGHT-OF-WAY, PAVEMENT WIDTH, AND PROPOSED USES OF RIGHT-OF-WAY - SEE CIVIL DWGS
- PROPOSED USE OF ALL AREAS, INCLUDING AREA TO BE USED FOR BORROW PITS OR WHERE THERE WILL BE ANY CHANGE TO THE NATURAL TOPOGRAPHY
- LOCATION OF ALL EXISTING AND PROPOSED STRUCTURES AND THEIR USES
- DIMENSIONS OF ALL SETBACKS AND HEIGHTS OF ALL PROPOSED BUILDING
- LOCATION OF ALL AREAS DESIGNATED FOR PARKING, LOADING, SOLID WASTE CONTAINER STORAGE, LANDSCAPING, OUTSIDE STORAGE, OPEN SPACE, ON-SITE VEHICULAR DRIVE AISLES AND CIRCULATION, AND ON-SITE PEDESTRIAN SIDEWALKS AND PATHWAYS
- LOCATION AND DIMENSIONS OF ALL EXISTING AND PROPOSED INGRESS AND EGRESS POINTS, INCLUDING ACCESS POINTS FOR EMERGENCY VEHICLES AND PERSONNEL, TO THE SITE AND THE LOCATION OF ANY PHYSICAL BARRIERS RESTRICTING INGRESS AND EGRESS - SEE CIVIL DWGS
- LOCATION AND DIMENSIONS OF ALL PROPOSED OFF-STREET PARKING SPACES AND LOADING DOCK AREA, INCLUDING STREET ACCESS AND TRAFFIC FLOW, TO THESE AREAS
- STREET, ALLEY, SEWER, AND WATERLINE SPECIFICATIONS - SEE ATTACHED MEMO
- PLAN FOR UNDERGROUND UTILITIES - SEE CIVIL DWGS
- DIMENSIONS AND LOCATIONS OF ALL ADVERTISING SIGNS AND FENCES - SEE EXTERIOR ELEVATIONS ON SHEETS A201 & A202 FOR BUILDING SIGNS
- LOCATION OF EXISTING AND PROPOSED EXTERIOR LIGHTING, HEIGHTS OF POLES, AND SIZE AND NUMBER OF FIXTURES AND STREET LIGHTS - SEE LIGHTING DWGS
- IDENTIFICATION OF FLOODPLAINS AND FLOOD ZONES - N/A
- LOCATION OF ALL PLANNED AND NATURAL DRAINAGE WAYS - SEE CIVIL DWGS
- SURFACE DRAINAGE PLAN FOR SITES AT 10,000 SQ FT OR MORE - SEE ATTACHED MEMO
- NOTATION STATING THAT "ALL NECESSARY DRAINAGE AND UTILITY EASEMENTS SERVING THIS DEVELOPMENT HAVE BEEN PROVIDED" - SEE CIVIL DWGS
- PROPOSED LOCATION OF HAZARDOUS MATERIAL STORAGE - N/A
- LANDSCAPING PLAN AS REQUIRED - SEE LANDSCAPE DWGS
 - SCALE OF 1" = 10'
 - PROPERTY LINE AND DIMENSIONS
 - STRUCTURES
 - IRRIGATION SYSTEMS - SEE ATTACHED MEMO
 - USE OF EXISTING NATURAL FEATURES
 - PLANS AND SEED MIX FOR AREAS OF RESEEDING
 - EROSION CONTROL PLAN - SEE ATTACHED MEMO
 - GRADING PLAN - SEE CIVIL DWGS
- TYPES OF GROUND OR YARD SURFACING THROUGHOUT: GRASS, PAVING, ETC. - SEE CIVIL AND LANDSCAPE DWGS
- ANY SCREENING OR SCREENING DEVICES USED TO MINIMIZE OR ELIMINATE AREAS WHICH TEND TO BE UNUSUALLY - N/A
- SNOW REMOVAL AND STORAGE
- TRAFFIC STUDY FOR LARGE SCALE RETAIL - N/A
- ALL TYPE B DEVELOPMENT PLANS MUST BE STAMPED BY A WYOMING ENGINEER AND A WYOMING ARCHITECT
- GENERAL NOTES TO INCLUDE A SUMMARY TABLE ON THE SITE PLAN:
 - TOTAL LAND AREA IN SQUARE FEET
 - TOTAL BUILDING AREA IN SQUARE FEET
 - TOTAL SQUARE FEET OF BUILDING ADDITION - N/A
 - PERCENTAGE OF LAND COVERED BY PARKING - N/A
 - BUILDING HEIGHT(S)
 - NUMBER OF STORIES AND SQUARE FOOTAGE PER STORY OF LEASABLE SPACE
 - TOTAL NUMBER OF PARKING SPACES
 - SQUARE FOOTAGE OF PARKING AREA(S) - N/A
 - PERCENTAGE OF LAND COVERED BY PARKING - N/A
 - SQUARE FOOTAGE OF ALL LANDSCAPING AREAS
 - SEE LANDSCAPE DWGS
 - PERCENTAGE OF SITE COVERED BY LANDSCAPING - SEE LANDSCAPE DWGS

SITE PLAN
1" = 20'-0"



GENERAL NOTES: SITE PLAN

- THIS SITE PLAN IS NOT A SURVEY AND IS FOR REFERENCE ONLY. IT IS PROVIDED FOR BUILDING LAYOUT ONLY. REFER TO CIVIL DRAWINGS FOR ALL GRADING, SUBSURFACE WORK, UTILITY LOCATION, DRAINAGE, ETC.
- THE CONTRACTOR SHALL VERIFY ON-SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUB-STRUCTURES. WHERE DISCREPANCIES OCCUR, CONTACT THE CIVIL ENGINEER FOR RESOLUTION IN WRITING.
- FOR HARDSCAPE AND DRAINAGE PLANS REF. CIVIL AND LANDSCAPE DRAWINGS. FOR ADDITIONAL INFORMATION & SCOPE NOT INCLUDED, REFER TO CIVIL, LANDSCAPE, MECHANICAL, ELEC. & PLUMBING DRAWINGS.
- FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL GRADING AND SOILS REPORT.
- PROVIDE EXPANSION FILLER STRIPS AND SEALANT AT ALL FLATWORK ADJACENT TO BUILDING, COLUMNS, OTHER ADJACENT SURFACES TO PROVIDE PROPER EXPANSION CONTROL UNIFORMITY.
- WHERE NOT INDICATED ON ARCHITECTURAL OR CIVIL DRAWINGS, PROVIDE EXPANSION & CONTROL JOINTS AT ALL EXTERIOR CONCRETE SLABS, SPACING OF JOINTS 20'-0" MAX. WALKWAYS SHALL HAVE TOOLED JOINTS EVERY 6'-0" O.C. MAX.
- ALL ROOF DRAINAGE TO BE PIPED TO STREET OR APPROPRIATE DRAINAGE FACILITY.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- REFER TO CIVIL FOR A.D.A. RAMPS, CURBS, PAVING STRIPING, FIRE LANE STRIPING, CODE REQUIRED SITE SIGNAGE.
- GENERAL NOTES LISTED ON THIS PAGE ARE NOT INTENDED TO BE AT THE EXCLUSION OF NOTES LISTED ELSEWHERE. THIS COMMENT SET IS MEANT TO BE COMPLIMENTARY AND INTEGRAL. NOTES LISTED ON OTHER SHEETS MAY HAVE BEARING/APPLICATION TO THE WORK SHOWN ON THIS SHEET.

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JOB NO:	2603



DESIGN DEVELOPMENT

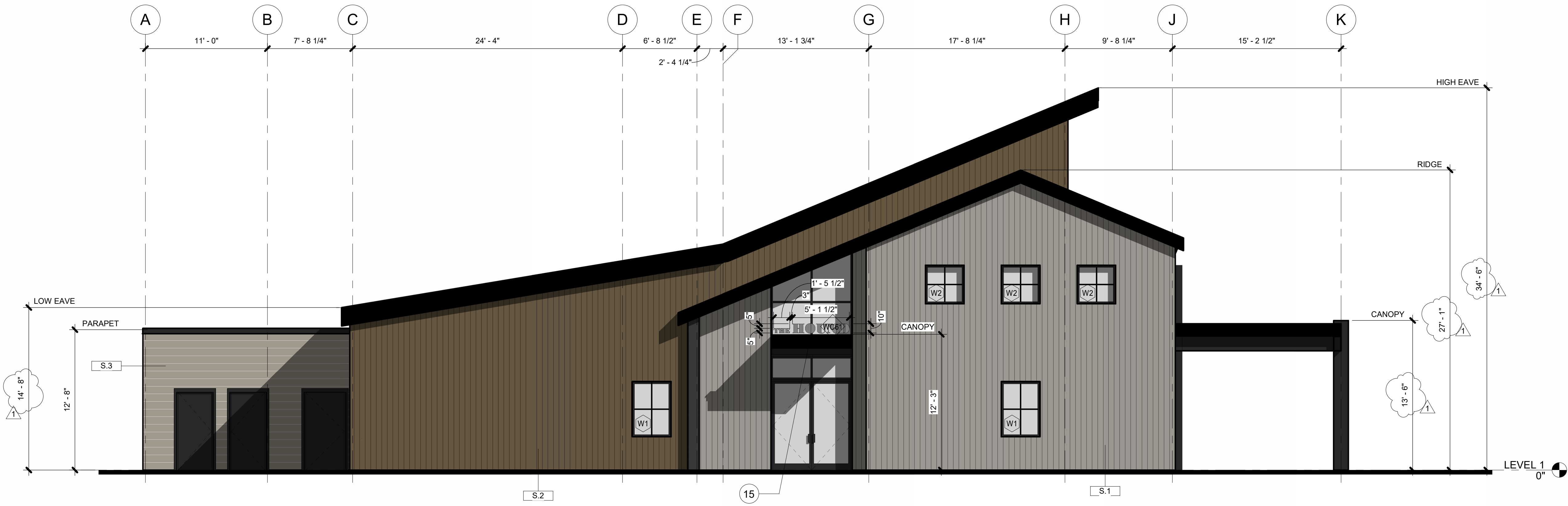
THE HOUND
5 CINCH LOOP, DOUGLAS, WY

LEVEL 1 FLOOR PLAN

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For the Highest level of clarity this sheet is required to be printed in color.



WEST ELEVATION
3/16" = 1'-0"



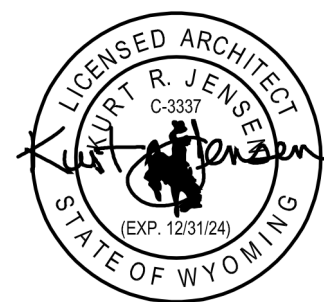
SOUTH ELEVATION
3/16" = 1'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

1. REF. GENERAL NOTES FOR DIMENSION, ABBREVIATIONS AND OTHER GENERAL PROCEDURES.
2. ALL HANDRAILS SHALL BE STAINLESS STEEL U.N.O.
3. ALL STRUCTURAL METALS SHALL BE GALVANIZED, PRIMED AND PAINTED FLAT. REF. EXTERIOR FINISH SCHEDULE FOR COLOR(S).
4. AT PERIMETER JOINT BETWEEN ALUMINUM FRAMING SYSTEMS AND DISSIMILAR MATERIALS, PROVIDE MINIM 3/8" CONTINUOUS BACKER ROD AND SEALANT JOINT ON ALL SIDES.
5. AT ALUMINUM FRAMING SYSTEMS, PROVIDE CONTINUOUS ALUMINUM SUB SILLS WITH END DAMS, WELDED JOINTS, TYP.
6. PRIOR TO INSTALLATION OF EXTERIOR LOUVERS, HORNS, LIGHT FIXTURES, FIRE ALARM DEVICES, ETC. CONTRACTOR SHALL HAVE COORDINATION MEETING WITH ARCHITECT AND APPROPRIATE CONSULTANT TO VERIFY INSTALLATION HEIGHTS AND CLEARANCES.
7. COORDINATE LOCATION OF ALL CONTROL JOINTS WITH ARCHITECT PRIOR TO INSTALLATION.
8. ALL STOREFRONT AND WINDOW FRAME SHALL BE ANODIZED ALUMINUM U.N.O.
9. ALL VERTICAL EXPOSED CONCRETE SHALL HAVE A HAND RUBBED FINISH U.N.O. ALL HORIZONTAL EXPOSED CONCRETE SHALL HAVE A LIGHT BROOM FINISH U.N.O.
10. BUILDING SIGNAGE IS PER OWNER UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ROUGH IN ELECTRICAL AND STRUCTURAL SUPPORTS AS OUTLINED WITHIN THESE DOCUMENTS.
11. CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES FOR EXTERIORS AT A SINGLE TIME FOR APPROVAL OF EXTERIOR FINISH SYSTEM.

EXTERIOR FINISH LEGEND

NUMBER	IMAGE	DESCRIPTION
S.1		PIONEER MILLWORKS RECLAIMED BARNWOOD - AMERICAN PRAIRIE WEATHERED SIDING
S.2		WESTERN STATE - 7/8" CORRUGATED METAL SIDING - BLACKENED COPPER
S.3		JAMES HARDIE - FIBER CEMENT PANEL - CEDARMILL - MONTEREY TAUPE
S.4		CAST-IN-PLACE CONCRETE



ISSUED SETS

7.15.2026 TYPE B DELVELOPMENT PERMIT

REVISIONS

REV#	DATE	DESCRIPTION
1	08.07.2026	TYPE B DEVELOPMENT PERMIT RESUBMITTAL

DRAWN: SS

CHECKED: SS

JOB NO: 2603



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DESIGN DEVELOPMENT

THE HOUND
5 CINCH LOOP, DOUGLAS, WY

EXTERIOR ELEVATIONS

SHEET:

A201



- GENERAL NOTES: EXTERIOR ELEVATIONS**
- REF. GENERAL NOTES FOR DIMENSION, ABBREVIATIONS AND OTHER GENERAL PROCEDURES.
 - ALL HANDRAILS SHALL BE STAINLESS STEEL U.N.O.
 - ALL STRUCTURAL METALS SHALL BE GALVANIZED, PRIMED AND PAINTED FLAT. REF. EXTERIOR FINISH SCHEDULE FOR COLOR(S).
 - AT PERIMETER JOINT BETWEEN ALUMINUM FRAMING SYSTEMS AND DISSIMILAR MATERIALS, PROVIDE MINIM 3/8" CONTINUOUS BACKER ROD AND SEALANT JOINT ON ALL SIDES.
 - AT ALUMINUM FRAMING SYSTEMS, PROVIDE CONTINUOUS ALUMINUM SUB SILLS WITH END DAMS, WELDED JOINTS, TYP.
 - PRIOR TO INSTALLATION OF EXTERIOR LOUVERS, HORNS, LIGHT FIXTURES, FIRE ALARM DEVICES, ETC. CONTRACTOR SHALL HAVE COORDINATION MEETING WITH ARCHITECT AND APPROPRIATE CONSULTANT TO VERIFY INSTALLATION HEIGHTS AND CLEARANCES.
 - COORDINATE LOCATION OF ALL CONTROL JOINTS WITH ARCHITECT PRIOR TO INSTALLATION.
 - ALL STOREFRONT AND WINDOW FRAME SHALL BE ANODIZED ALUMINUM U.N.O.
 - ALL VERTICAL EXPOSED CONCRETE SHALL HAVE A HAND RUBBED FINISH U.N.O. ALL HORIZONTAL EXPOSED CONCRETE SHALL HAVE A LIGHT BROOM FINISH U.N.O.
 - BUILDING SIGNAGE IS PER OWNER UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ROUGH IN ELECTRICAL AND STRUCTURAL SUPPORTS AS OUTLINED WITHIN THESE DOCUMENTS.
 - CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES FOR EXTERIORS AT A SINGLE TIME FOR APPROVAL OF EXTERIOR FINISH SYSTEM.

ISSUED SETS
7.15.2026 TYPE B DELVELOPMENT PERMIT

REVISIONS		
REV#	DATE	DESCRIPTION
1	08.07.2026	TYPE B DEVELOPMENT PERMIT RESUBMITTAL

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JOB NO: 2603



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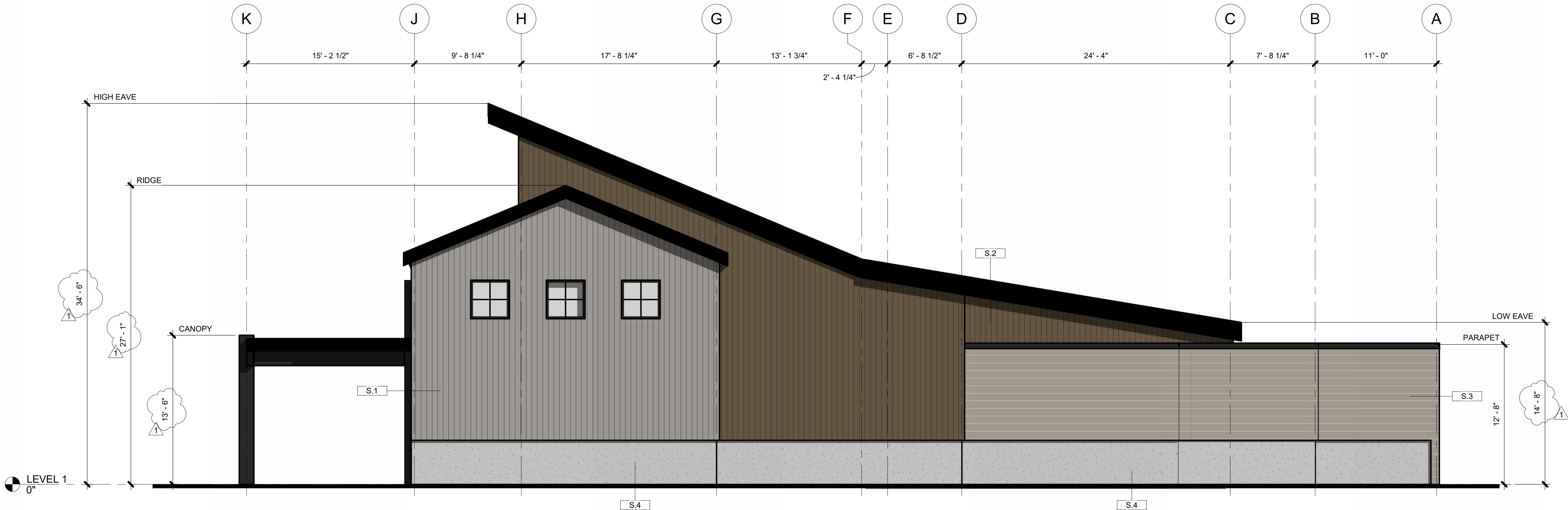
DESIGN DEVELOPMENT

THE HOUND
5 CINCH LOOP, DOUGLAS, WY

EXTERIOR ELEVATIONS

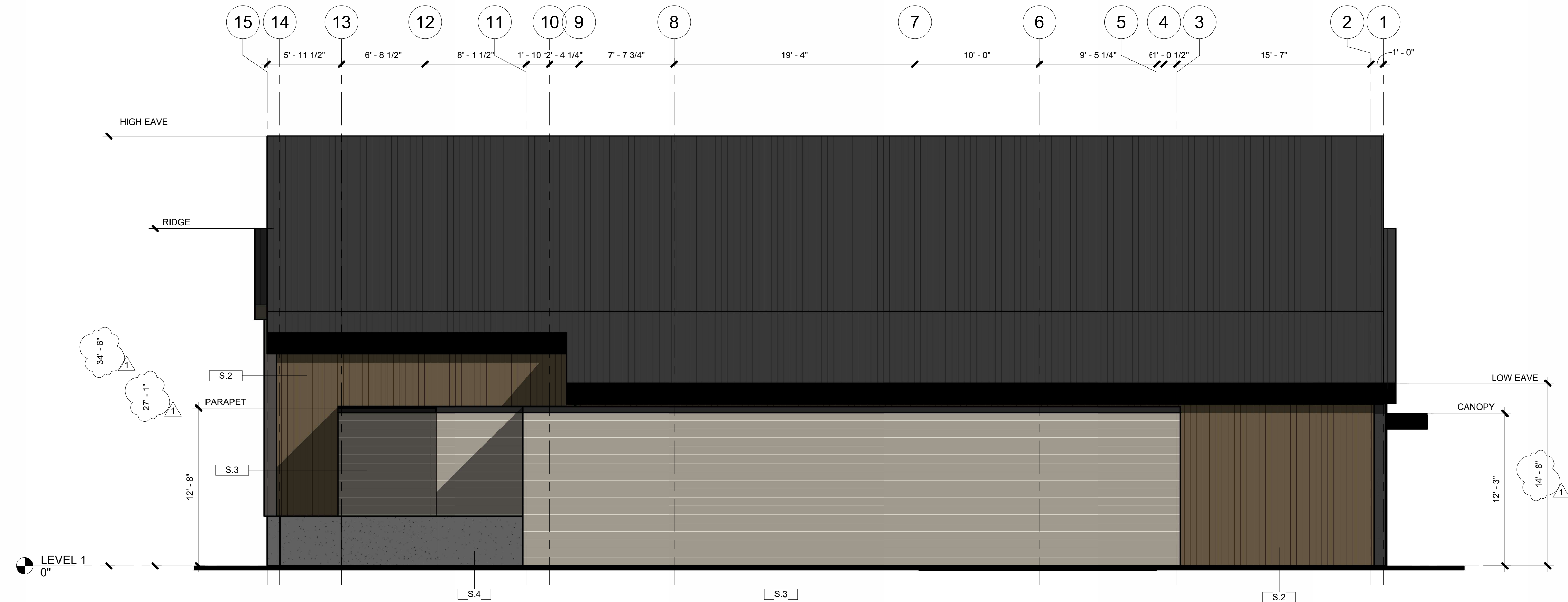
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EAST ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH LEGEND		
NUMBER	IMAGE	DESCRIPTION
S.1		PIONEER MILLWORKS RECLAIMED BARNWOOD - AMERICAN PRAIRIE WEATHERED SIDING
S.2		WESTERN STATE - 7/8" CORRUGATED METAL SIDING - BLACKENED COPPER
S.3		JAMES HARDIE - FIBER CEMENT PANEL - CEDAR MILL - MONTEREY TAUPE
S.4		CAST-IN-PLACE CONCRETE



NORTH ELEVATION
3/16" = 1'-0"

Plant List

Canopy Trees
-none proposed-

Coniferous Trees

Code	Total	On-Site	Off-Site	Botanic Name	Common Name	Mature Ht x Spd	Condition	Planting Size
PIEA	4	4	0	Pinus leucodermis	Emerald Arrow	28' x 12'	#15 Cont.	5' Ht.
PITA	6	6	0	Pinus mugo 'Tannenbaum'	Tannenbaum Mugo Pine	15' x 6'	#10 Cont.	4' Ht.
PIPO	3	3	0	Pinus ponderosa	Ponderosa Pine	40' x 25'	#15 Cont.	5' Ht.
	13	13	0	Total Con. Trees				

Ornamental Trees

Code	Total	On-Site	Off-Site	Botanic Name	Common Name	Mature Ht x Spd	Condition	Planting Size
SYRE	1	1	0	Syringa reticulata	Japanese Tree Lilac	15' x 15'	#15 Cont.	(+ 1.5' Cal)
	1	1	0	Total Orn. Trees				

Deciduous Shrubs

Code	Quantity	On-Site	Off-Site	Botanic Name	Common Name	Mature Ht x Spd	Condition	Planting Size
AMAR	8	8	0	Amelanchier alnifolia 'Regent'	Regent Serviceberry	6' x 5'	Cont.	#5
SYMC	11	11	0	Syringa x prestoniae 'Miss Canada'	Miss Canada Lilac	8' x 7'	Cont.	#5
SYPK	3	3	0	Syringa patula 'Miss Kim'	Miss Kim Lilac	5' x 5'	Cont.	#5
	22	22	0	Total Dec. Shrubs (13 on site)				

Evergreen Shrubs

Code	Quantity	On-Site	Off-Site	Botanic Name	Common Name	Mature Ht x Spd	Condition	Planting Size
JUCO	11	11	0	Juniperus scopulorum 'CocoGreen'	CocoGreen Upright Juniper	15' x 5'	Cont.	#5
	11	11	0	Total Evg. Shrubs				

Perennials & Ornamental Grasses

Code	Quantity	On-Site	Off-Site	Botanic Name	Common Name	Mature Ht x Spd	Condition	Planting Size
BOGR	43	40	3	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster	5' x 2'	Cont.	#1
HESD	30	30	0	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1.5' x 1.5'	Cont.	#1
LISP	13	13	0	Liatris spicata	Gayfeather	3' x 4'	Cont.	#1
PAVS	22	16	6	Panicum virgatum 'Shenadoah'	Red Switch Grass	4' x 2'	Cont.	#1
TECH	16	16	0	Teucrium chamaedrys	Germander	1' x 1.5'	Cont.	#1
	124	115	9	Total Orn. Grasses				

Landscape Plan Checklist Reference Key		
18	Drainage Way	(see civil plans for details)
22a	Scale of 1" = 10' or Multiple Thereof	
22b	Property Lines / Dimensions	
22c	Structures	(see architectural plans for details)
22d	Irrigation Systems	(irrigation plan to be approved prior to issuance of building permit)
22e	Use of Natural Features	not applicable
22f	Plans & Seed Mix for Areas of Rascading	
22g	Erosion Control Plan	(see civil plans)
22h	Grading Plan	(see civil plans)
23	Ground Surface Type	(see civil plans for asphalt & concrete specifications)
24	Screening / Screening Devices	
28i	Square Footage of All Landscaped Areas	
28k	Percentage of Site Covered by Landscaping	

Key	
AC	AC Condenser Pads per MEP
Bar	Ext. Drink Service per Arch.
Bike	Bike Parking - See Bike Rack Detail
Can	Building Canopy per Arch.
Gate	Self-Closing / Self-Latching Gate per Arch.
Entry	Customer Entry per Arch.
Lite	Ex. Parking Lot Light
INT	Grease Interceptor per Plumbing
OHD	Overhead Door per Arch.
PED	Ex. Utility Pedestals & Transformer to Remain
Seat	Seat Wall / Raised Planter
Serv	Service Entry
TE	Trash Encl. per Arch.
Wall	Screen Wall per Arch.

Landscape Plan

Landscape Material Quantities

Irrigated Turf / Native Seed		Shrub Bed Mulches	
	Irrigated Turf per Landscape Note 2 (on-site only) ±1,092 SF		Standard Angular Gravel Mulch - Gray: 1.5" Hyland Granite per Pioneer Sand & Gravel @ 3" Depth Min. Post-Settlement ±2,155 SF
	Native Seed per Landscape Note 2 (on-site only) ±3,610 SF		Decorative Cobble Mulch - White: 4" - 8" Glacier White River Rock per Pioneer Sand & Gravel @ 8" Depth Min. Post-Settlement ±668 SF
	±4,702 SF Subtotal		Decorative Mulch - TBD (in raised planters) ±184 SF
Other			±3,007 SF Subtotal
	Steel Edger ±2,155 LF	Required / Provided Landscape Calculations:	
	Decorative Boulders : 1 & 2-Man Boulders (Note 8)	Lot Area (So. Portion of Lot 4): Required Landscaped Area (20% of Site): Proposed Landscaped Area ±19,237 SF ±3,847 SF ±7,709 SF (40% of Site) 8 trees 14 trees	
Patio Perimeter Fence - Optional		Trees Required (@1 / 500 SF x 3,847 SF): Provided:	

LANDSCAPE NOTES

- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH ANA SPECIFICATIONS FOR NUMBER ONE GRADE.
- IRRIGATED SOD & NATIVE SEED:
 - IRRIGATED SOD: 90% BLUEGRASS / 10% PERENNIAL RYE GRASS MIX. LOCALLY SOURCED. PREPARE SITE AND INSTALL SOD PER MANUFACTURER INSTRUCTIONS.
 - NATIVE SEED: "SHORTGRASS SEED MIXTURE" BY APPLEWOOD SEED COMPANY OR APPROVED LOCALLY SOURCED EQUAL. PREPARE SITE AND DISTRIBUTE SEED PER MANUFACTURER RECOMMENDATIONS. DO NOT MOW EXCEPT AS NEEDED SEASONALLY ALONG PERIMETER IF HEIGHT EXCEEDS 30 INCHES (30").
- IRRIGATION PERFORMANCE SPECIFICATION: ALL SHRUB BEDS AND IRRIGATED TURF SOD SHALL BE IRRIGATED WITH A PERMANENT AUTOMATIC DRIP IRRIGATION SYSTEM TO BE DESIGNED PRIOR TO APPROVAL OF THIS SITE PLAN. ADJUST THE IRRIGATION SYSTEM TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL. GENERALLY, TREES PLANTED FOR DRIP IRRIGATION SHOULD HAVE A MINIMUM OF 2 EMITTERS OR BUBBLERS PLACED ON OPPOSITE SIDES OF THE STEM OR DRIP TUBING RINGS (PREFERRED) WITH A MINIMUM OF 4 IN-LINE EMITTERS. ALL DRIP IRRIGATION SHOULD BE PLACED ON TOP OF THE ROOT BALL. EACH TREE SHOULD BE WATERED TWICE PER WEEK AT A RATE OF 20 GALLONS PER CYCLE DURING THE GROWING SEASON AND ONCE PER MONTH AT A RATE OF 20-30 GALLONS DURING THE DORMANT SEASON. HAND WATERING WILL BE NECESSARY DURING THE DORMANT SEASON. SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHOULD HAVE 1-2 EMITTERS OR BUBBLERS PER PLANT AND SHOULD BE WATERED TWICE PER WEEK AT A RATE OF 5-10 GALLONS PER WATERING.
- TREES PLANTED IN IRRIGATED TURF AREAS SHALL RECEIVE DRIP IRRIGATION AS PER ABOVE TO ALLOW THE TURF SECTION TO BE TURNED OFF IN SEVERE DROUGHT.
- NATIVE SEED IRRIGATION: NATIVE SEED AREAS REQUIRE IRRIGATION AT A MINIMUM RATE OF 0.5" PER WEEK DISTRIBUTED EVENLY FOR THE GROWING SEASON, INCLUDING NATURAL RAINFALL THROUGH ESTABLISHMENT. THE FIRST TWO GROWING SEASONS, NATIVE SEED FREE LAWNS MAY REQUIRE ADDITIONAL IRRIGATION WATER FOR SURVIVAL. TEMPORARY IRRIGATION WATER DELIVERY TO NATIVE SEED AREAS MAY BE VIA WATER TRUCK, AN ABOVE GROUND SYSTEM, AND/OR A BELOW GROUND SYSTEM.
- TREES PLANTED IN DRYLAND SEED AREAS SHALL RECEIVE DRIP IRRIGATION AS PER ABOVE.
- THE IRRIGATION DESIGNER IS RESPONSIBLE FOR COORDINATING THE PLACEMENT OF THE CONTROLLER, IRRIGATION TAP/BLOCK FLOW PREVENTER ASSEMBLY WITH THE ARCHITECT, CIVIL ENGINEER, LANDSCAPE ARCHITECT AND OWNER. IRRIGATION SYSTEM SHALL INCLUDE AN AUTOMATIC SHUT OFF WITH LEAK DETECTION.
- ALL TREES SHALL BE BALLED & BURLAPPED IN A ROOT CONTROL BAG OR CONTAINERIZED. INSTALL PER DETAIL THIS SET. COORDINATE INSTALLATION ON ENGINEERED SLOPES WITH CIVIL ENGINEER. IN THE EVENT OF A CONFLICT, NOTIFY LANDSCAPE ARCHITECT.
- ALL SHRUB BEDS SHALL RECEIVE LOCALLY SOURCED GRAVEL MULCH PER LANDSCAPE MATERIAL QUANTITIES ON THIS SHEET (OR APPROVED EQUAL) TO A MINIMUM POST-SETTLEMENT DEPTHS AS SPECIFIED ABOVE. "PIPER SAND & GRAVEL" (30") OR APPROVED EQUAL. WEED BARRIER FILTER FABRIC (NOT IMPERMEABLE PLASTIC SHEETING). DO NOT COMPACT MULCH. IN IRRIGATED TURF AND NATIVE SEED AREAS, PLACE GORILLA HAIR (SHREDED WESTERN RED CEDAR MULCH @ 3" MIN. DEPTH POST-SETTLEMENT) WITHIN 6" OF CURB OF TREES. PROVIDE A SAMPLE (PHOTOGRAPH) OF ALL MULCH TYPES PROPOSED FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PURCHASE.
- SEPARATE ALL AREAS RECEIVING MULCH FROM NATIVE TURF & IRRIGATED TURF WITH 6" ROLLTOP STEEL EDGING OR APPROVED EQUAL. SEE DETAIL THIS SET. PROVIDE A SAMPLE (PHOTOGRAPH) FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PURCHASE. OWNER / OPERATOR SHALL INSPECT AND MAINTAIN EDGING SEASONALLY TO DETAIL VERTICAL MOVEMENT AND ASSOCIATED TRIP HAZARD.
- ANY BOULDERS SHOWN ON THIS PLAN ARE NOT REQUIRED AND MAY BE INSTALLED AT THE OWNERS SOLE DISCRETION. GENERALLY IN THE LOCATIONS ILLUSTRATED ON THE PLAN, IF INSTALLED, BOULDERS SHALL BE TAN SANDSTONE QUARRY BLOCKS OR APPROVED EQUAL. LOCALLY SOURCED. PROVIDE A ROUGHLY EQUAL MIX OF 12-TON, 34-TON AND 1-TON BOULDERS. BURY ROUGHLY 25% OF EACH BOULDER ABOVE WEED BARRIER FABRIC. ONCE PLACED, BOULDERS SHALL NOT EXCEED 24" HEIGHT RELATIVE TO TOP OF ADJACENT CURB IF WITHIN 5' OF THE CURB. FACE THE MOST ATTRACTIVE SIDE (E.G., WITHOUT MECHANICAL SCARRING) TOWARD PEDESTRIAN AREAS AND DRIVE LANES TO THE EXTENT POSSIBLE. DO NOT PLACE BOULDERS WITHIN 18" FROM BACK OF CURB. FINAL LOCATION / GROUPING / ORIENTATION SUBJECT TO OWNERS APPROVAL.
- UTILITY SEPARATION REQUIREMENTS: LOCATE ALL UTILITIES PRIOR TO PLANTING. INSTALL TREES SUCH THAT ROOTS ARE OUTSIDE OF WATER AND SANITARY SEWER EASEMENTS. A MINIMUM OF 10' CLEAR OF WATER AND SEWER LINES, AND 4' CLEAR OF GAS AND STORM SEWER LINES. INSTALL SHRUBS SUCH THAT ROOT PTS ARE 4' CLEAR OF WATER AND SANITARY SEWER LINES AND NOT DIRECTLY ABOVE STORM SEWER LINES AND ROOT DRAINS.
- BUILDING FOUNDATION SEPARATION REQUIREMENTS:
 - IRRIGATION SPRAY HEADS & IRRIGATED TURF BED LINES: 8 FEET MINIMUM
 - IRRIGATION MAIN LINES: 5 FEET MINIMUM
 - WOODY & HERBACEOUS PLANT STEMS & DRIP EMITTERS: 3 FEET MINIMUM
- NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THE ABOVE PRIOR TO INSTALLATION. UTILITY SEPARATION REQUIREMENTS AND BUILDING SEPARATION REQUIREMENTS SHALL NOT BE USED AS A MEANS OF AVOIDING THE INSTALLATION OF PLANT MATERIALS SHOWN ON THIS PLAN. DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION NEITHER CONFLICT WITH, NOR PRECLUDE INSTALLATION AND MAINTENANCE OF, LANDSCAPE ELEMENTS SHOWN.
- THE LANDSCAPE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ALL SOIL TESTING AND AMENDMENTS REQUIRED. THE SOIL IN ALL LANDSCAPE AREAS SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF NOT LESS THAN EIGHT INCHES (8") BELOW FINAL GRADE. AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL REMOVED FOR CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING LANDSCAPING.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE PERMITTED, SUBJECT TO LANDSCAPE ARCHITECT AND CITY APPROVAL DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY AND DESIGN CONCEPT SHALL REMAIN CONSISTENT WITH APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED ON THIS PLAN SHALL PREVAIL.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY, TO SECURE A CONDITION OF OCCUPANCY WITHOUT LANDSCAPE AND IRRIGATION FULLY INSTALLED. REMAINING LANDSCAPE AND IRRIGATION SHALL BE SECURED WITH AN ACCEPTABLE FORM OF SURETY TO THE CITY FOR 125% OF THE VALUE OF THE LANDSCAPE PRIOR TO CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL WARRANT LANDSCAPE MATERIALS FOR TWELVE (12) MONTHS FOLLOWING INSTALLATION. THE APPLICANT, SUCCESSORS, AND ASSIGNS SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR AND NORMAL MAINTENANCE OF ALL LANDSCAPE ELEMENTS SHOWN ON THIS PLAN.
- LANDSCAPE SHALL BE MAINTAINED FREE OF DISEASE, PESTS, WEEDS AND LITTER. PLANT MATERIALS EXHIBITING EVIDENCE OF INSECTS, DISEASE, AND OTHER DAMAGE SHALL BE APPROPRIATELY TREATED. DEAD TREES, SHRUBS AND PERENNIAL PLANTS SHALL BE REPLACED WITHIN 30 DAYS IF POSSIBLE, OR BY JUNE 1 OF THE FOLLOWING GROWING SEASON. LANDSCAPE ELEMENTS SUCH AS FENCES AND WALLS, IF PROPOSED, SHALL BE REPAIRED AND/OR REPLACED TO REMAIN STRUCTURALLY SOUND. MULCH AND WEED BARRIER FABRIC SHALL BE REPLACED AS NECESSARY AS A STANDARD MAINTENANCE PRACTICE.
- LEAVE PLANT IDENTIFICATION TAGS ON PLANT MATERIAL FOR REMOVAL FOLLOWING INSPECTION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN AS-BUILT DRAWING AT THE SCALE SHOWN ON THIS SHEET OR GREATER ILLUSTRATING PLANT MATERIAL AND IRRIGATION SYSTEM AS INSTALLED WITHIN THIRTY (30) DAYS FOLLOWING CITY INSPECTION. AUTOCAD FILES (.DWG) AS APPROVED ARE AVAILABLE UPON REQUEST TO THE LANDSCAPE ARCHITECT.

